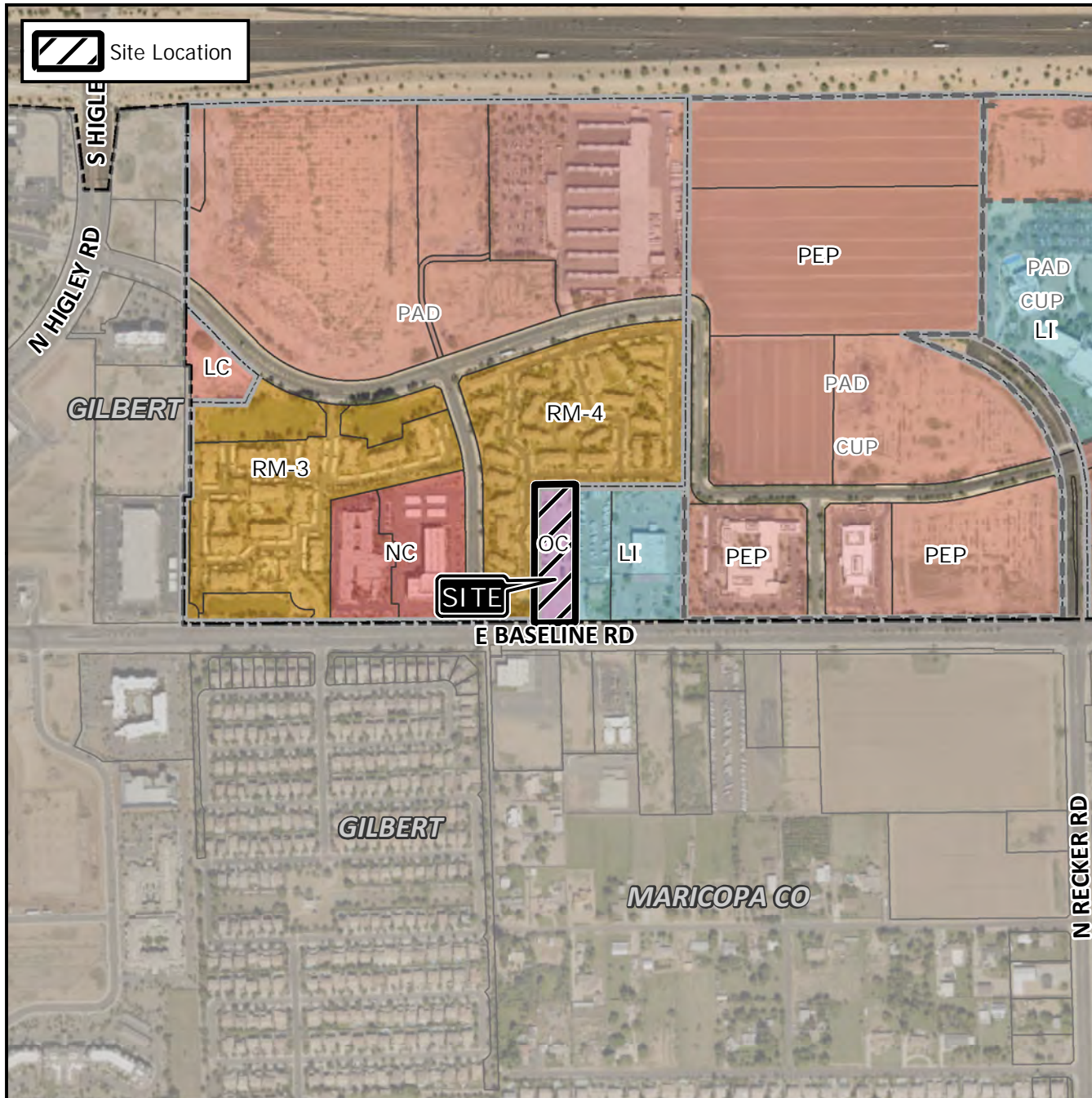


Design Review Vicinity Map: DRB20-00245

Case Details



Case:

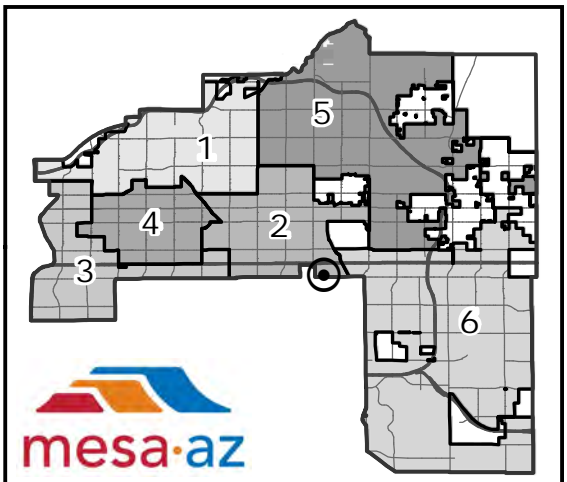
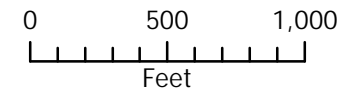
DRB20-00245

Site / Address:

District 2. Located East of Higley Road on the North side of Baseline Road. (2.3± acres)

Request:

Requesting the review of new medical office buildings.





April 20, 2020

To: City of Mesa Planning Department

Subject: Morris Office Building
5520 E Baseline Road
Mesa, AZ

Project Narrative

General

The proposed Morris Office Building will be a new single-story multi-tenant facility and intended to serve General Office and Medical Office sector. The facility will be approximately 16,000 sf and located on 2.26 acres. The property fronts Baseline Road with a single- entry drive serving the site. Adjacent property to east is LI Zoning with RM-4 PAD zoning for the balance or surrounding adjacent site uses.

Site Design

The proposed site has narrow frontage with only one entry drive that is feasible. The 2-building concept is located at the east property line adjacent to the LI Zoning use with the entry drive located on the west. The buildings are located at the front of the site with a single lane parking drive with convenient parking for daily use. The balance of the parking continues to the north and opens to a larger field of parking that allows trash and fire truck maneuvering. Covered employee parking is located at the NWC of the site. As noted, the theme for the site is to push the buildings forward to provide as much frontage exposure as possible and mitigate parking field exposure at the street. The narrow site provides an opportunity to integrate a tower feature at the point of entry that is replicated at the courtyard separating the buildings. The proposed use is consistent with the designated uses and the building architectural features comply with the design guidelines and City of Mesa development standards.

Surface retention storage is provided along the perimeter of the site and integrated with landscape treatments. Trash enclosures are located near the rear of the site and are not prominent in the site design however well designed with required enclosure walls matching the building main materials and provided with painted steel deck gates that provide total screening.

The landscape theme compliments the building and utilizes concrete pavers from the ADA parking to the courtyard. Key landscape design materials were selected to reflect the architecture with Mediterranean Fan Palms along main drive. Generally, plantings are formal patterns to reinforce the architecture. The courtyard paving treatment extends across the drive to integrate the ADA parking area and with glorious iron urns that flank the entry towers to the courtyard. The courtyard features a water feature and large pots s to establish an outdoor waiting space with an integrated vending area. A section of turf area is provided at the rear of the site separating the parking field to provide a green respite area.

All landscape items will adhere to the City of Mesa landscape standards, such as minimum plant size and quantities for parking areas, foundation base areas and streetscape landscape areas.



Building Design

The building design comprises of two building forms center around a central courtyard. The building forms are identical but mirrored on the site. With the narrowness of the site the mirrored forms provide interest and variety with the use of tower features at the site entry and parking approaches. The courtyard is flanked by 2 tower elements that are detailed with pyramid roof elements and coined edge details. The tower further extenuates the positions of 2 large cast iron urns secured by the owner for a pedestrian level detail. The facades are articulated with formal projected archway elements that are projected from the building plane and finished in precast concrete, Cantera Stone or Exterior Insulation Finish System. The glass entry systems are recessed with black anodized frames and lighted with soffit lighting. The mansard standing seam roof is a green patina color that contrasts with the exposed concrete block. The concrete block consists of 8" x 8" x 16" smooth gray units with Mesastone accents at the towers. The main body of the façade is 8" x 4" x 16" sandblasted units. The mortar color is black with horizontal joints raked and the head joints flush. The tower features at the street and parking approaches are domed and all towers are intended to be lighted inside the towers.

The façade is articulated on all sides of the building to integrate with the site parking and pedestrian approaches to the building. The general building materials consist of 2 different size coursing CMU, 2 different textures, 2 color accent cmu, articulated arch details with contrasting material applications, standing seam roofs and domes.

Building mounted signs are not proposed for this project. The site will have a monument sign identifying the tenants with kiosk directory graphics at the courtyard and on the northside to of the building from the parking areas. Graphic text and logos will be allowed on the glass entrances as prescribed by the owner's sign guidelines.

On behalf of Morris Office Building Partners

Sincerely,

Vincent P. Di Bella

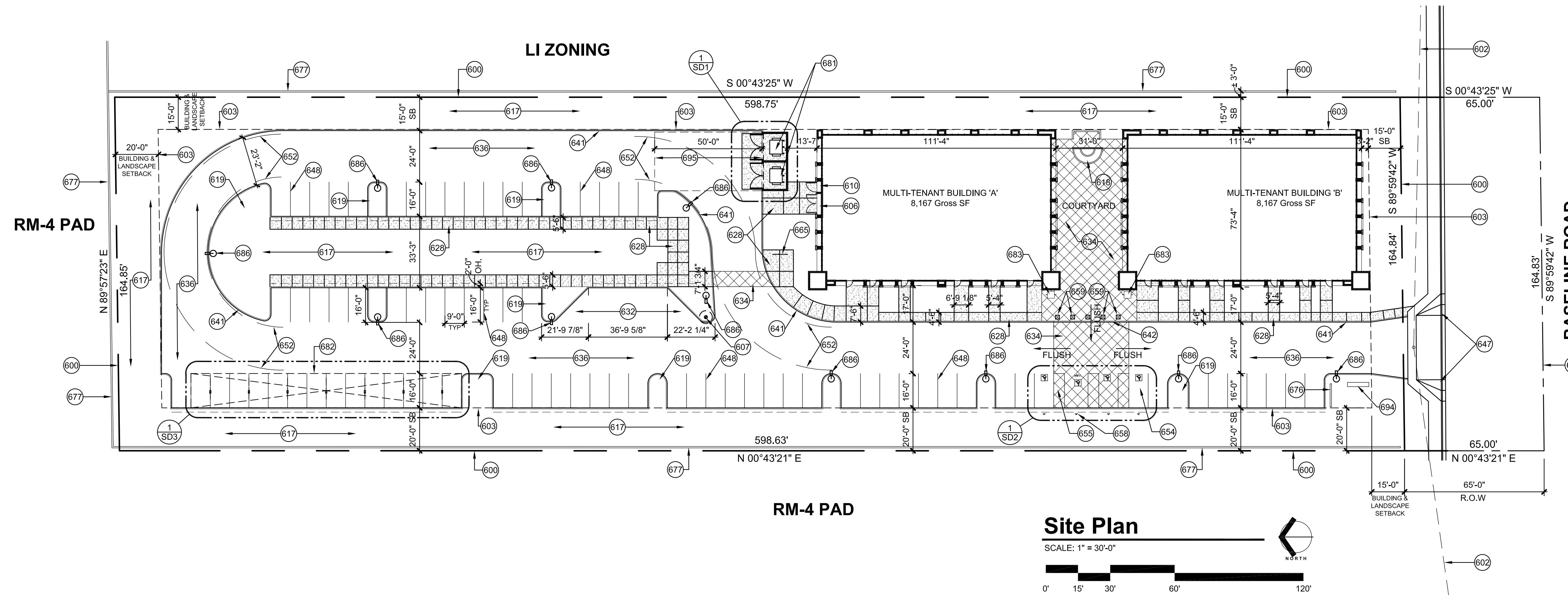
Vincent P. Di Bella AIA, CSI

Adaptive Architects Inc.

Principal Architect

SITE PLAN KEYNOTES (SOME KEYNOTES MAY NOT APPLY)

- 600 PROPERTY LINE, SEE CIVIL DRAWINGS
- 601 STREET CENTERLINE, SEE CIVIL DRAWINGS
- 602 SIGHT VISIBILITY TRIANGLE
- 603 BUILDING / LANDSCAPE SETBACK LINE
- 604 SITE / BUILDING LAYOUT POINT
- 605 ELECTRICAL TRANSFORMER LOCATION, SEE ELECTRICAL DRAWINGS
- 606 ELECTRICAL SERVICE ENTRANCE SECTION (SES) SEE ELECTRICAL DRAWINGS
- 607 FIRE HYDRANT LOCATION, SEE CIVIL DRAWINGS
- 608 FIRE DEPARTMENT CONNECTION LOCATION, SEE CIVIL AND FIRE PROTECTION DRAWINGS
- 609 FIRE DEPARTMENT KNOX BOX LOCATION PER CITY OF MESA REQUIREMENTS
- 610 FIRE RISER LOCATION, SEE CIVIL AND FIRE PROTECTION DRAWINGS
- 611 GAS METER LOCATION, VERIFY LOCATION AND COORDINATE WITH UTILITY COMPANY, SEE CIVIL AND PLUMBING DRAWINGS
- 612 DOMESTIC WATER METER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
- 614 IRRIGATION WATER METER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
- 615 BACKFLOW PREVENTER LOCATION PER CIVIL, SEE CIVIL DRAWINGS
- 617 LANDSCAPE AND/OR RETENTION AREA, SEE CIVIL AND LANDSCAPE DRAWINGS
- 618 WATER FOUNTAIN FEATURE, SEE LANDSCAPE DRAWINGS
- 619 LANDSCAPE ISLAND, SEE CIVIL AND LANDSCAPE DRAWINGS
- 620 CATCH BASIN AND METAL GRATE PER CIVIL, SEE CIVIL DRAWINGS
- 621 UNDERGROUND DRAIN PIPE PER CIVIL, SEE CIVIL DRAWINGS
- 626 4" CONCRETE WALKWAY; BROOM FINISH, SCORE AS SHOWN; SEE SP-- & CIVIL DWGS
- 629 1/2" EXPANSION JOINT (E.J.). SCORE JOINTS OTHERWISE, SEE DETAIL --
- 630 DROP-OFF LANE / LOADING AREA, ASPHALT OVER PREPARED SUBGRADE, SLOPE TO DRAIN, SEE CIVIL DRAWINGS
- 634 DECORATIVE CONCRETE PAVERS
- 636 NEW ASPHALTIC CONCRETE PAVEMENT OVER PREPARED SUB-GRADE PER CIVIL DRAWINGS
- 638 CONCRETE VALLEY GUTTER, SEE CIVIL DRAWINGS
- 641 C.I.P. CONCRETE CURB AND GUTTER WHERE SHOWN, SEE CIVIL DRAWINGS
- 642 6" WIDE C.I.P. CONCRETE CURB FLUSH WITH TOP OF PAVERS AND ASPHALT, CREATE SLOPE FOR DEPRESSION; SEE DETAILS --
- 644 PAINTED FIRE LANE C.I.P. CONCRETE CURB, SEE DETL. -- AND FPD 503.3
- 647 NEW DRIVEWAY APPROACH & SIDEWALK PER COM M-42, SEE CIVIL DWGS.
- 648 NEW PARKING STRIPING, 4" WIDE WHITE PAINTED STRIPES, TYP.
- 652 FIRE TURNING RADIUS PER CITY OF MESA REQUIREMENTS WITH 55'-0" OUTSIDE TURNING RADIUS AND 35'-0" INSIDE TURNING RADIUS, TYP.
- 654 ADA ACCESSIBLE PARKING SPACES; SEE ENLARGED PLANS
- 657 ADA ACCESSIBLE CROSSWALK
- 658 ADA SYMBOL PAVEMENT MARKING
- 659 ADA ACCESSIBILITY SIGN AND POLE, SEE DETAILS #2 & 3/SD2
- 660 2'-0" X 2'-0" PRE-CAST CONCRETE BOLLARD, SEE DETAIL #12/SD1
- 661 BICYCLE RACK LOCATION, SEE DETAIL #11/SD1
- 662 NEW PARKING LOW SCREEN WALL, SEE DETAIL #9/SD1
- 663 EXISTING MASONRY SCREEN WALL
- 664 DOUBLE-WIDE TRASH ENCLOSURE
- 665 CARPORT CANOPY SHADE STRUCTURE
- 666 'URN' STATUE; PROVIDED BY CLIENT
- 668 SITE LIGHTING POLE AND BASE, SEE ELECTRICAL AND STRUCTURAL DRAWINGS
- 669 LINE OF ROOF OVERHANG
- 670 NEW MONUMENT SIGNAGE; SEE DETAIL #8/SD1
- 672 50'-0" CLEARANCE ALLOWING OPERATOR ROOM FOR SAFE MANEUVERABILITY.



Baseline Road

S. Sunnyvale Ave.

Aerial

SCALE: NTS



PROJECT DATA

PROJECT ADDRESS:
MORRIS BROTHERS OFFICE COMPLEX
5520 E. BASELINE ROAD
MESA, AZ 85206

PROJECT DESCRIPTION:
PROVIDING FOR A NEW GROUND-UP CONSTRUCTION BUILDING THAT WILL SERVE AS A MULTI-TENANT USE OR LARGE TENANT USE SPACE FOR FUTURE MEDICAL OFFICE SUITES.

CURRENT PARCEL NUMBER:
141-53-052H

EXISTING ZONING:
OC (OFFICE COMMERCIAL)

BUILDING SETBACKS:
6' LANE ARTERIAL: 15 FEET
INTERIOR ADJ. TO RM DISTRICT: 20 FEET
INTERIOR ADJ. TO NON RESIDENTIAL: 15 FEET

SITE AREA:
98,694 S.F. = 2.26 ACRES

LOT COVERAGE:
16.5% PROVIDED

BUILDING HEIGHT ALLOWED: 30'-0" AFF MAXIMUM

BUILDING HEIGHT PROVIDED: 22'-0" AFF (TYPICAL AT ALL MAIN PARAPET LOCATIONS); ONLY EXCEPTION TO THE HEIGHT IS AT THE TOWER STRUCTURE LOCATIONS THAT EXCEED THE 30'-0" HEIGHT LIMIT BY APPROXIMATELY 2'-0". FOR A TOTAL HEIGHT OF ABOUT 32'-0" AFF. WE FEEL THIS HEIGHT EXCEPTION IS APPROPRIATE SINCE IT ONLY OCCURS AT KEY ENTRY POINTS AND WE CONSIDER THEM TO BE ARCHITECTURAL EMBELLISHMENTS UNIQUE TO THE PROJECT.

TYPE OF CONSTRUCTION:
VB - WITH FIRE SPRINKLER

MULTI-TENANT BUILDING AREAS:
GENERAL OFFICE AND MEDICAL OFFICE USES:
BUILDING 'A' GROSS AREA = 8,167 SF
BUILDING 'B' GROSS AREA = 8,167 SF
TOTAL BUILDING GROSS AREA = 16,334 SF

OCCUPANCY CLASSIFICATION: BUSINESS (B)
IBC 2018 CODE

ESTIMATED OCCUPANT LOADS:

1. BASED ON BUSINESS:
16,334 SF / 150 SF = 109 OCCUPANTS

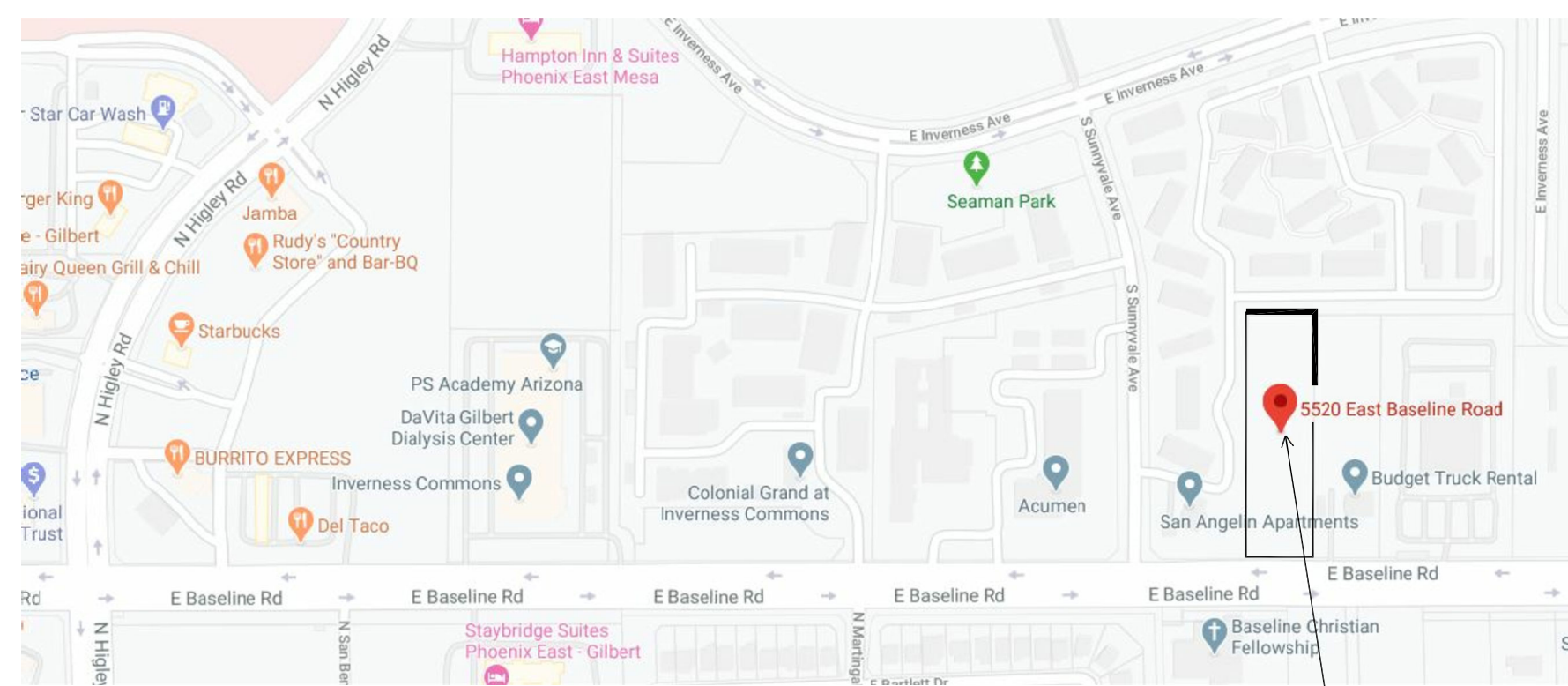
PARKING CALCULATIONS:

PARKING REQUIRED:
HEALTHCARE MEDICAL OFFICES: 1 SPACE / 200 SF

16,334 SF / 200 = 82 SPACES REQUIRED
83 SPACES PROVIDED

ADA HANDICAP STALLS: 2% OF REQUIRED PARKING:
82 SPACES X 2% = 1.6 SPACES REQUIRED
4 ADA SPACES PROVIDED, 3 STANDARD 9'-0"X16'-0" W/2'-0" OVERHANG AND 1 VAN ACCESSIBLE STALL - 11'-0" X 16'-0" W/2'-0" OVERHANG

ALL TYPICAL STANDARD STALLS ARE DESIGNED AS 9'-0"(W) X 16'-0"(L) TYP. WITH A 2'-0" VEHICLE OVERHANG AT CURB LOCATIONS.



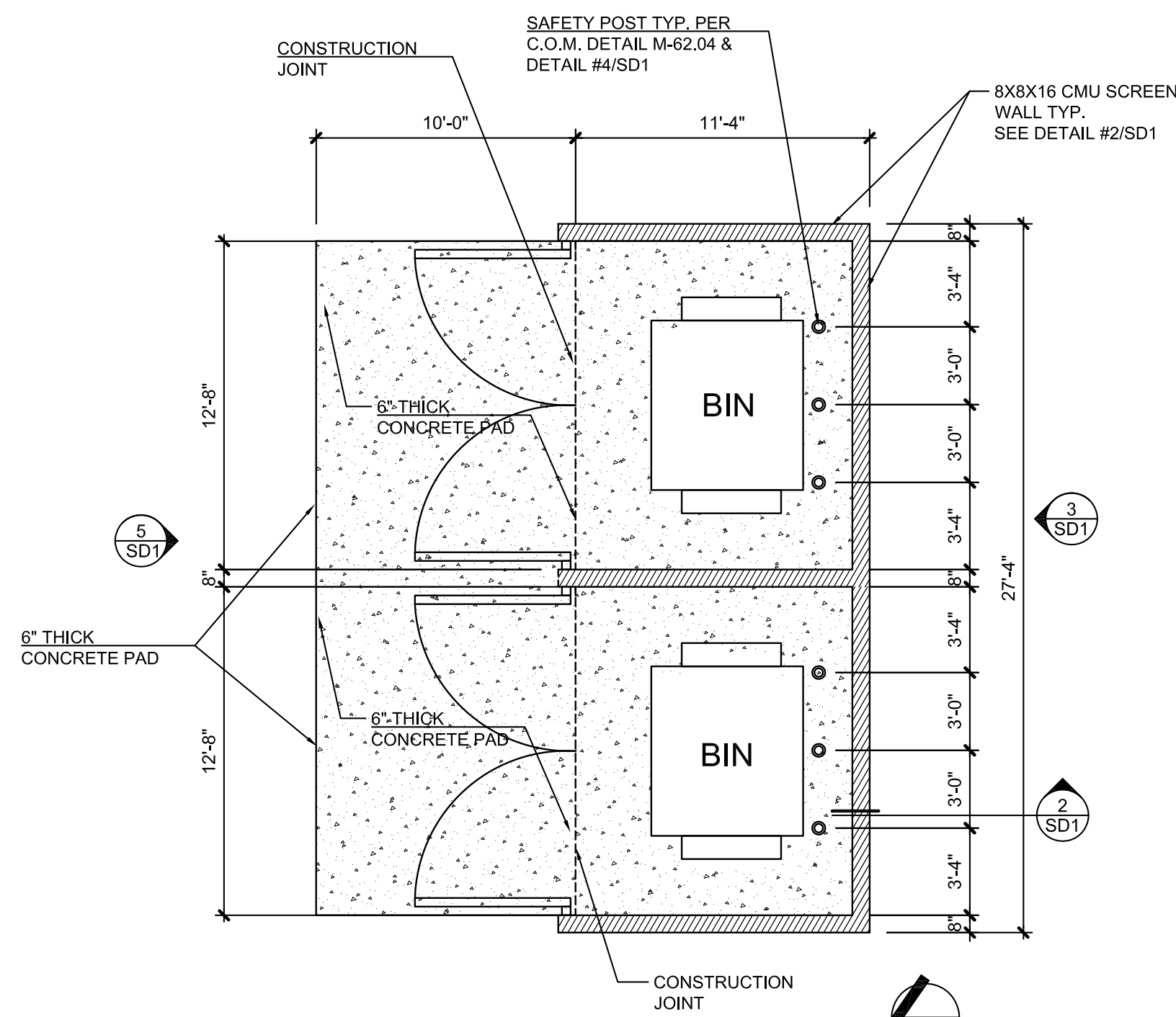
Vicinity Map

SCALE: NTS

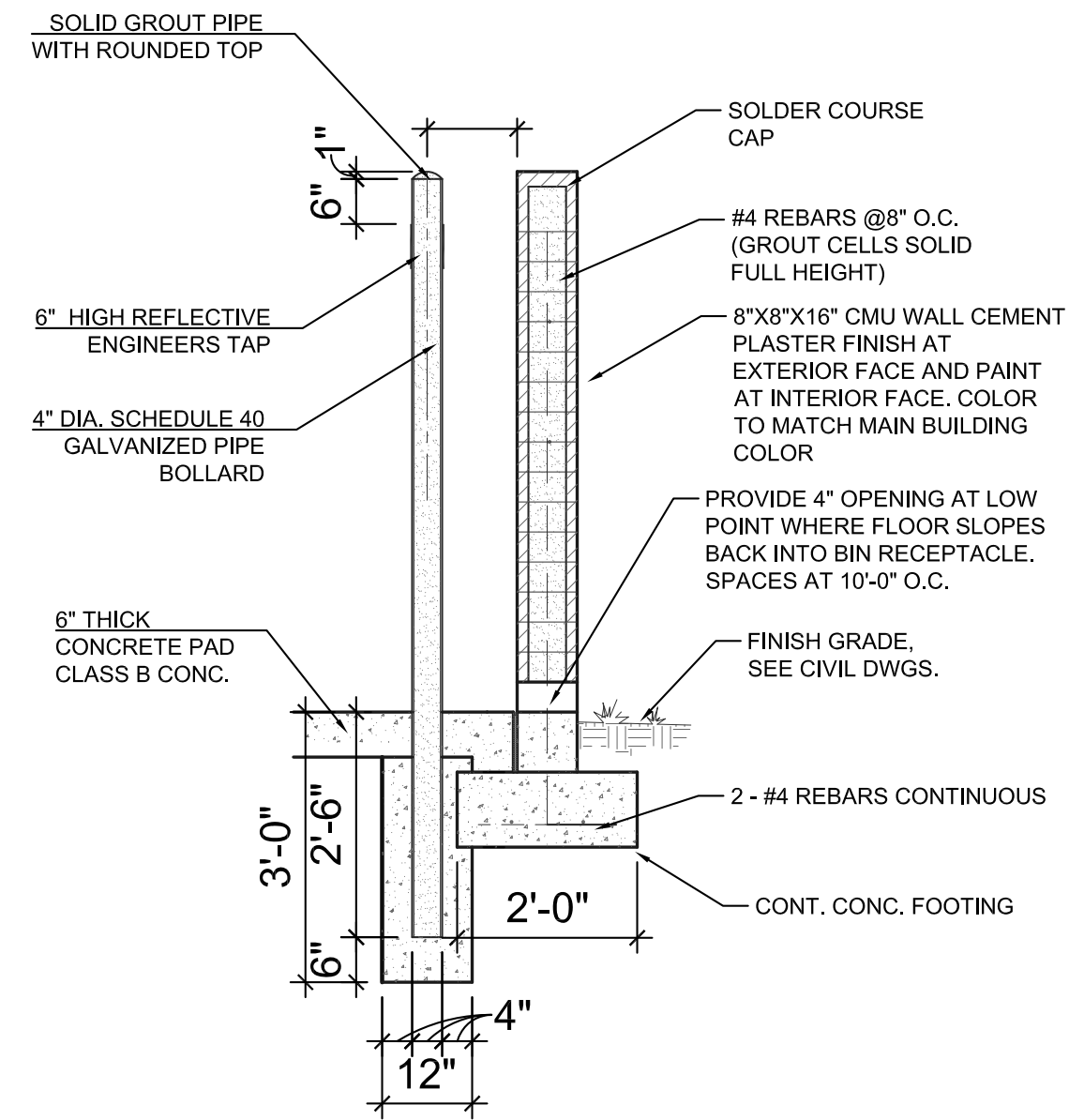


Site

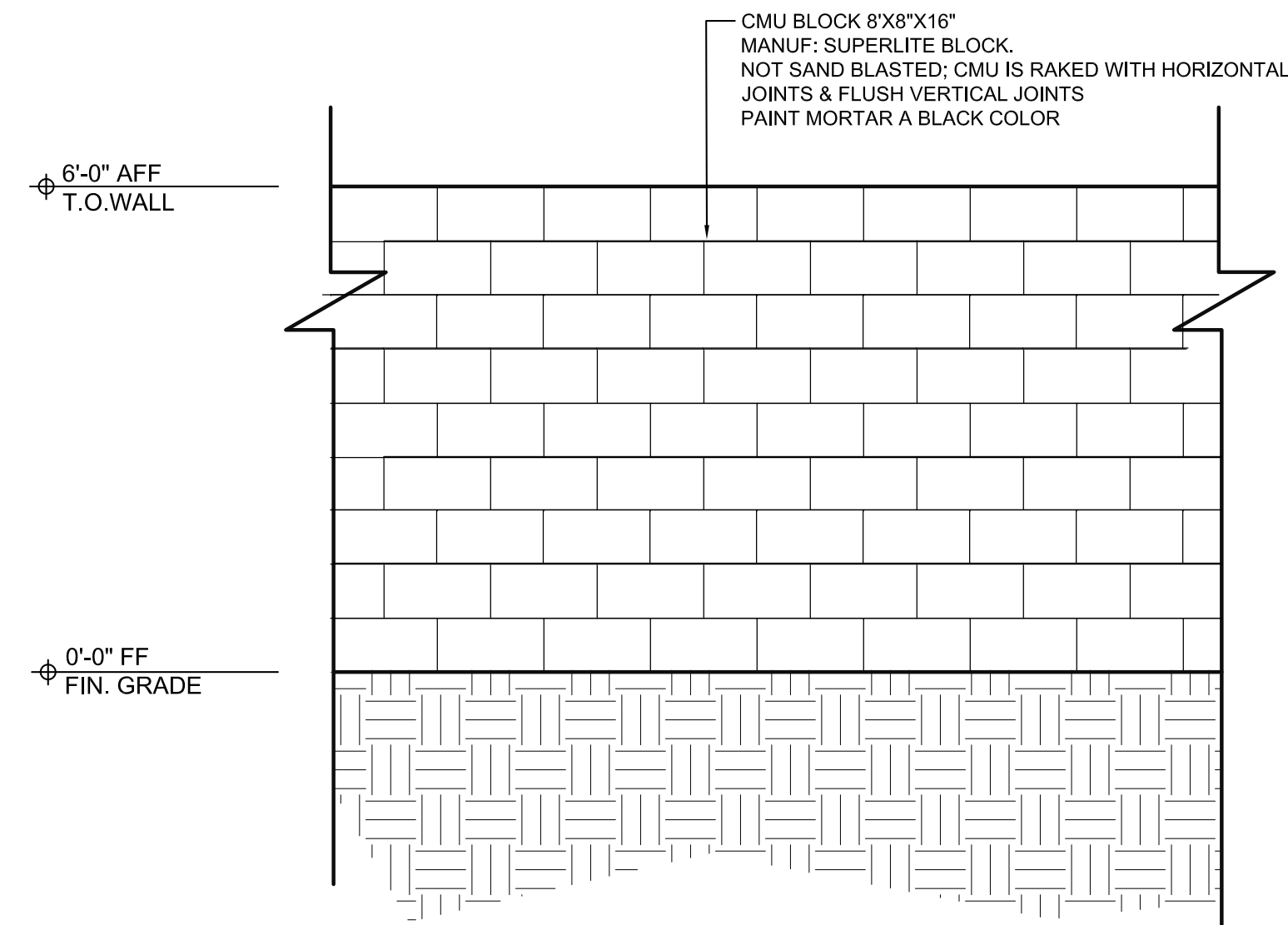
		<p>adaptive ARCHITECTS 1630 S. Stapley Drive Suite 229 Mesa, AZ 85204 480.655.0633 www.adaptivearchitects.com</p>	
<p>Phase</p> <p>Design Review</p>		<p>Morris Brothers Offices 5520 East Baseline Rd Mesa, AZ 85206</p>	
<p>SITE PLAN</p>			
<p>Project Number: 2009</p>	<p>Revision Date:</p>	<p>Sheet Number: SP1</p>	
<p>Date: 5/26/2020</p>			



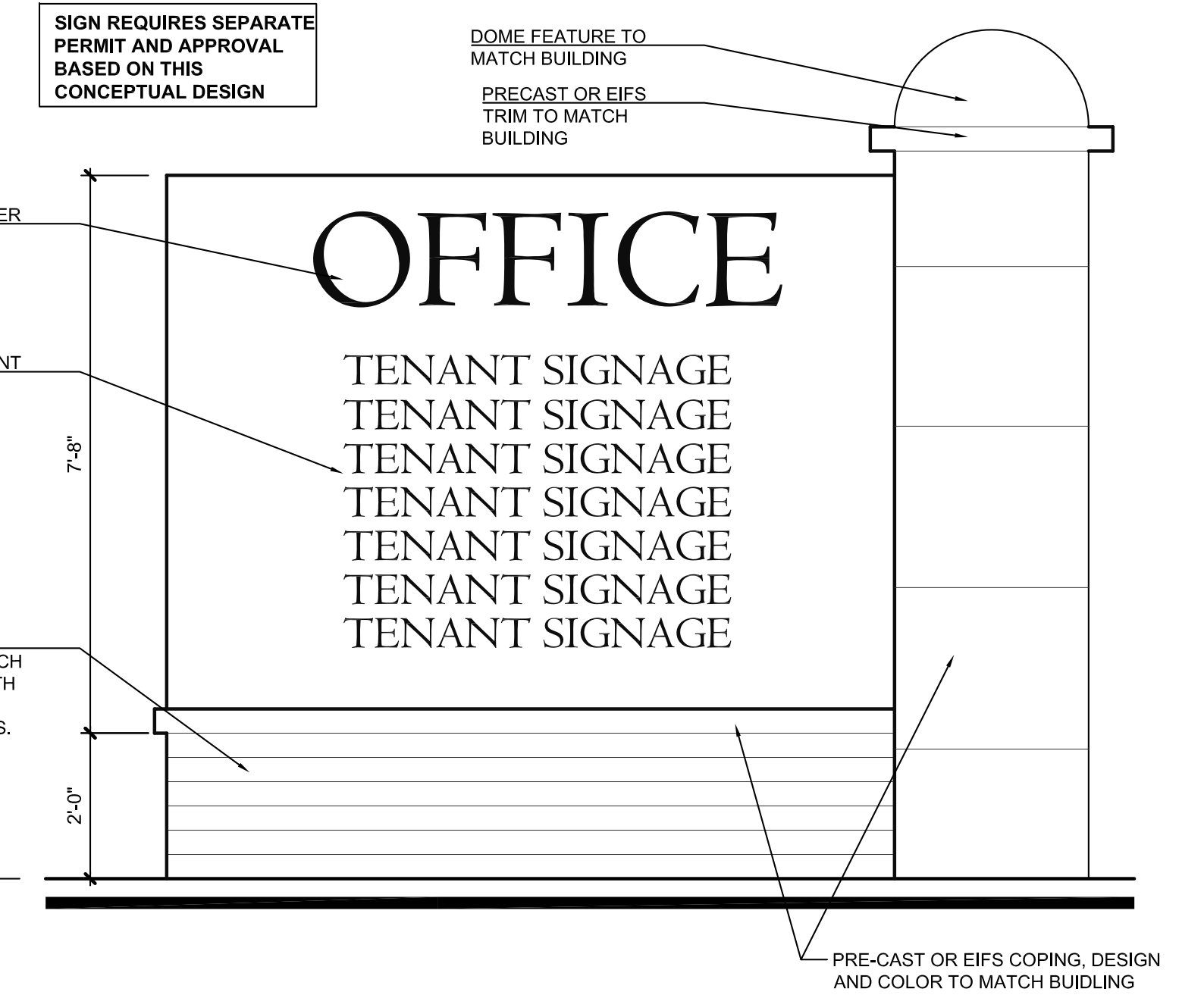
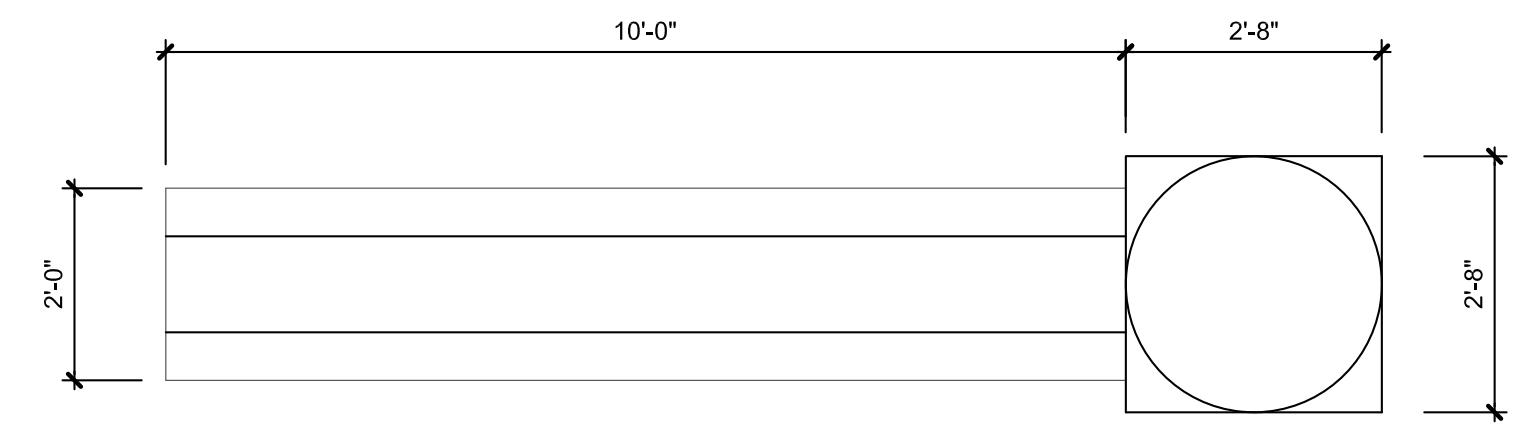
1 TRASH ENCLOSURE
 SCALE: 3/16" = 1'-0"
 NOTE: SEE CITY OF MESA DETAILS M-62.04, M-62.04.1 FOR FURTHER INFORMATION



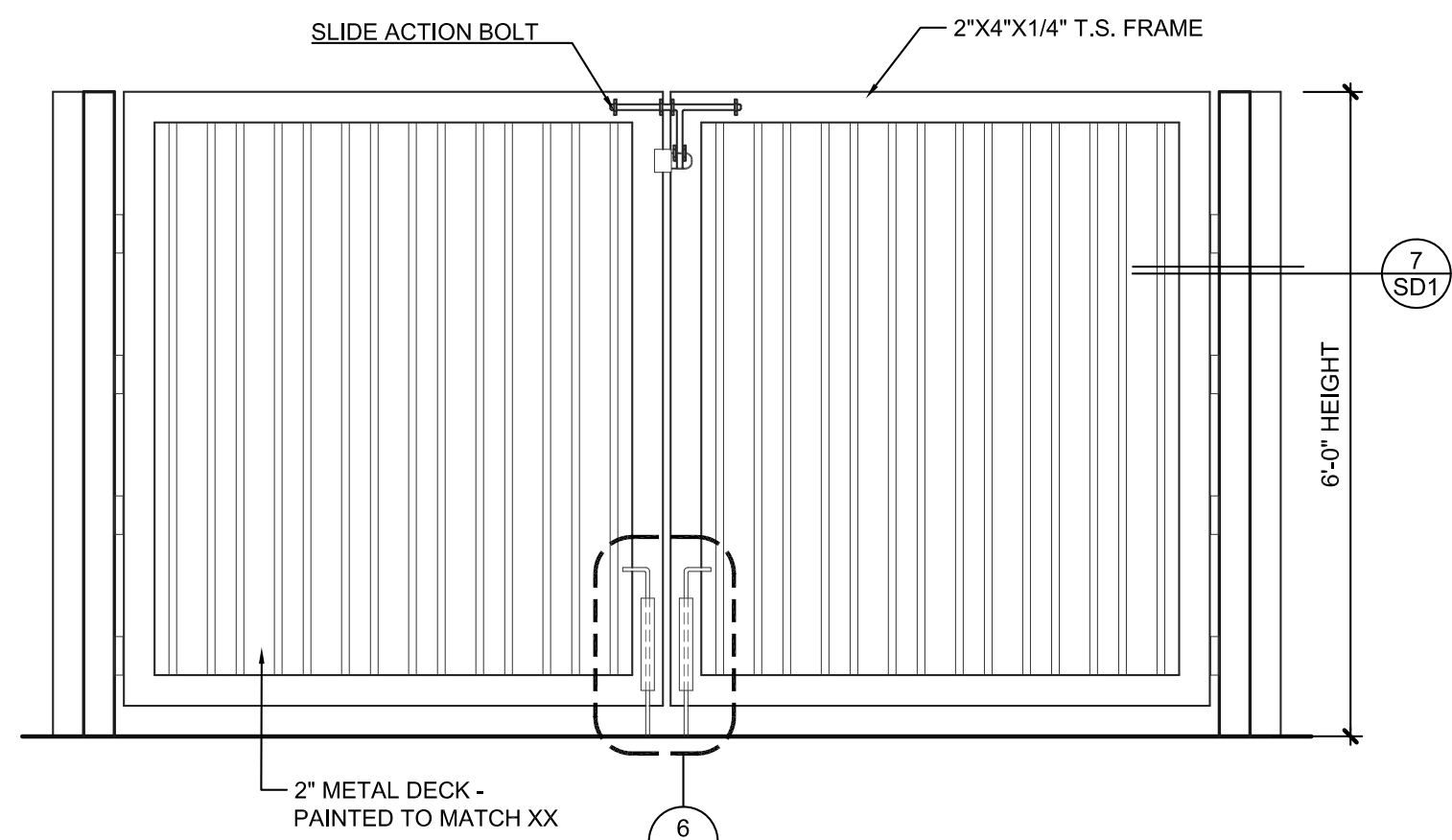
2 MASONRY WALL AT TRASH ENCLOSURE
 SCALE: 1/2" = 1'-0"



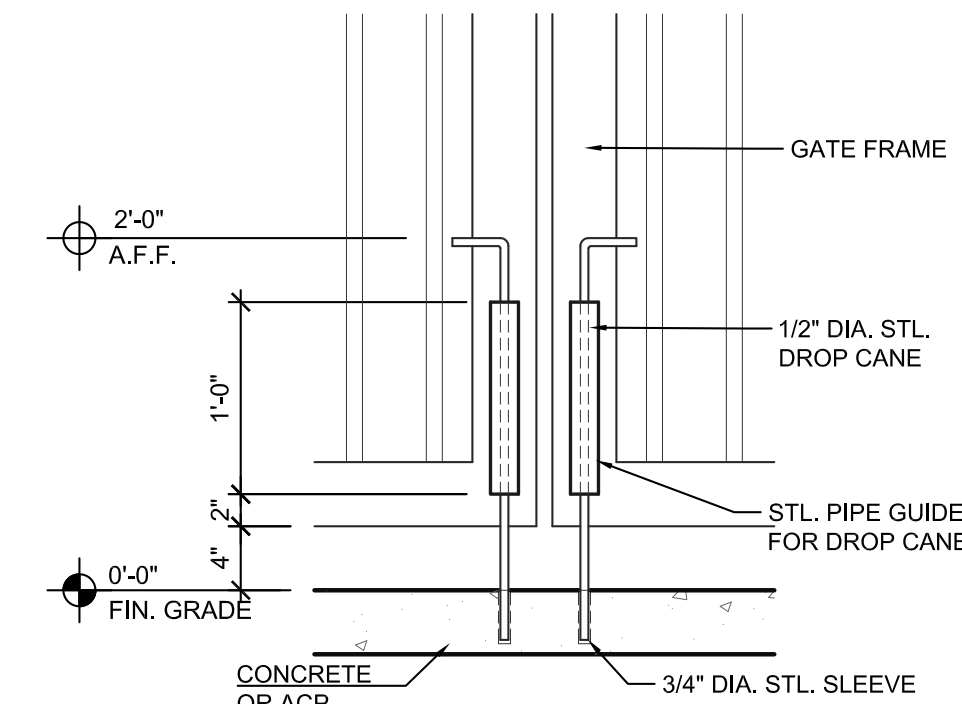
3 TYP. ELEVATION AT CMU TRASH ENCLOSURE
 SCALE: 1/2" = 1'-0"



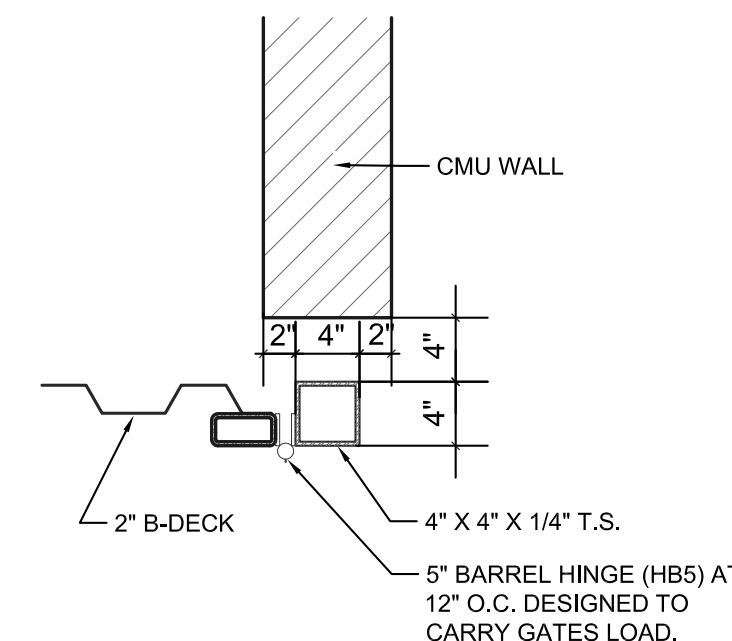
8 MONUMENT SIGNAGE
 SCALE: 1/2" = 1'-0"



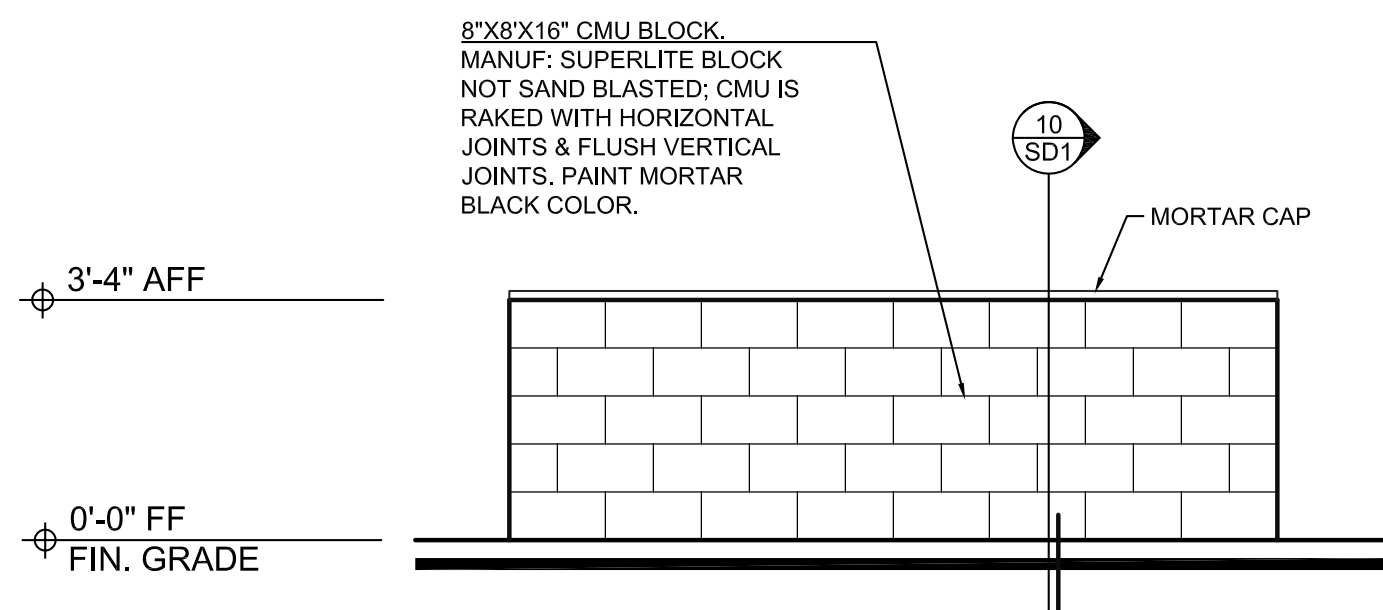
5 ELEVATION AT GATES OF TRASH ENCLOSURE
 SCALE: 1/2" = 1'-0"



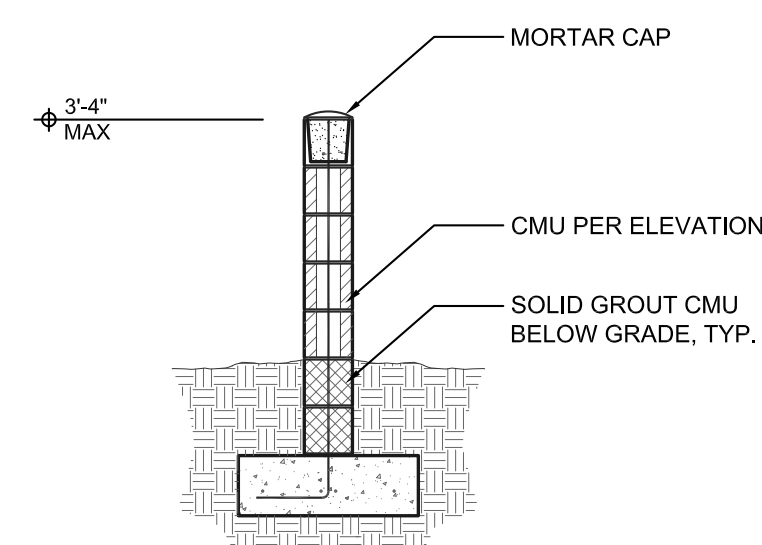
6 CANE BOLT DETAIL
 SCALE: 1" = 1'-0"



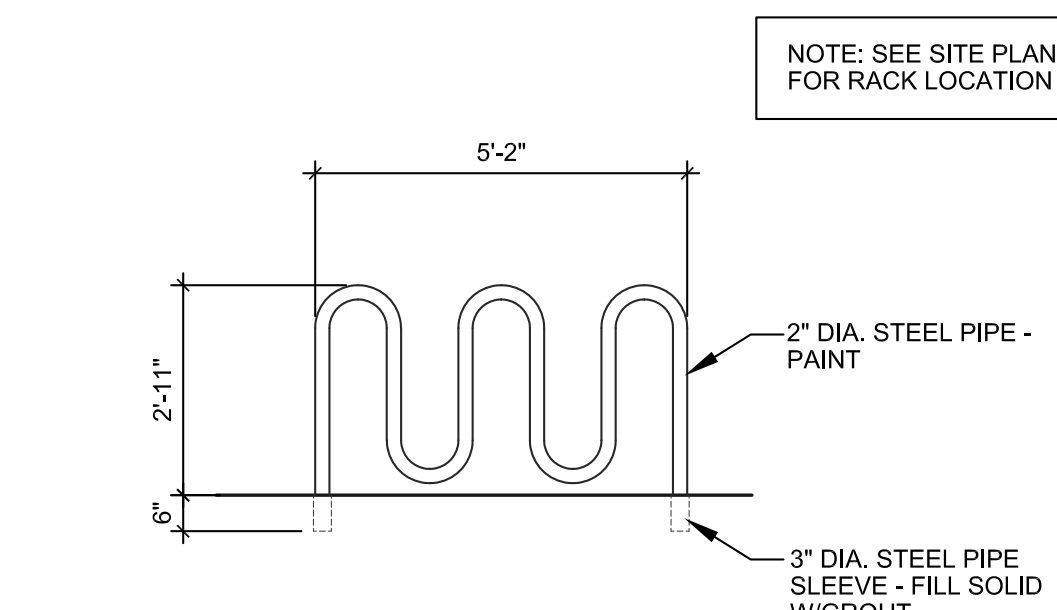
7 GATE HINGE AT TUBE STEEL POST
 SCALE: 1" = 1'-0"



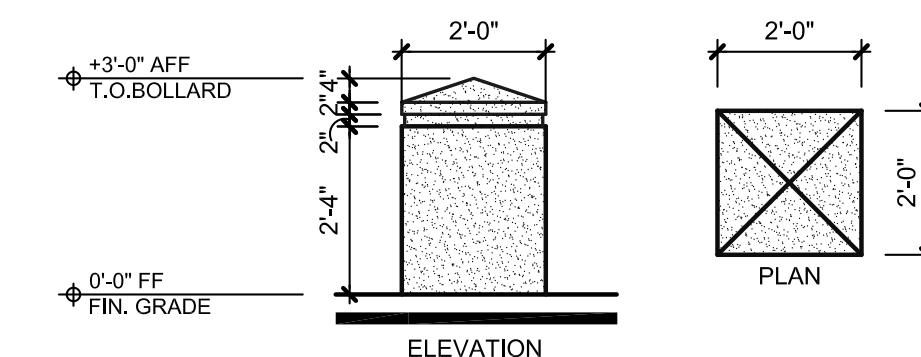
9 PARKING SCREEN WALL ELEVATION
 SCALE: 3/8" = 1'-0"



10 PARKING SCREEN SECTION
 SCALE: 3/8" = 1'-0"

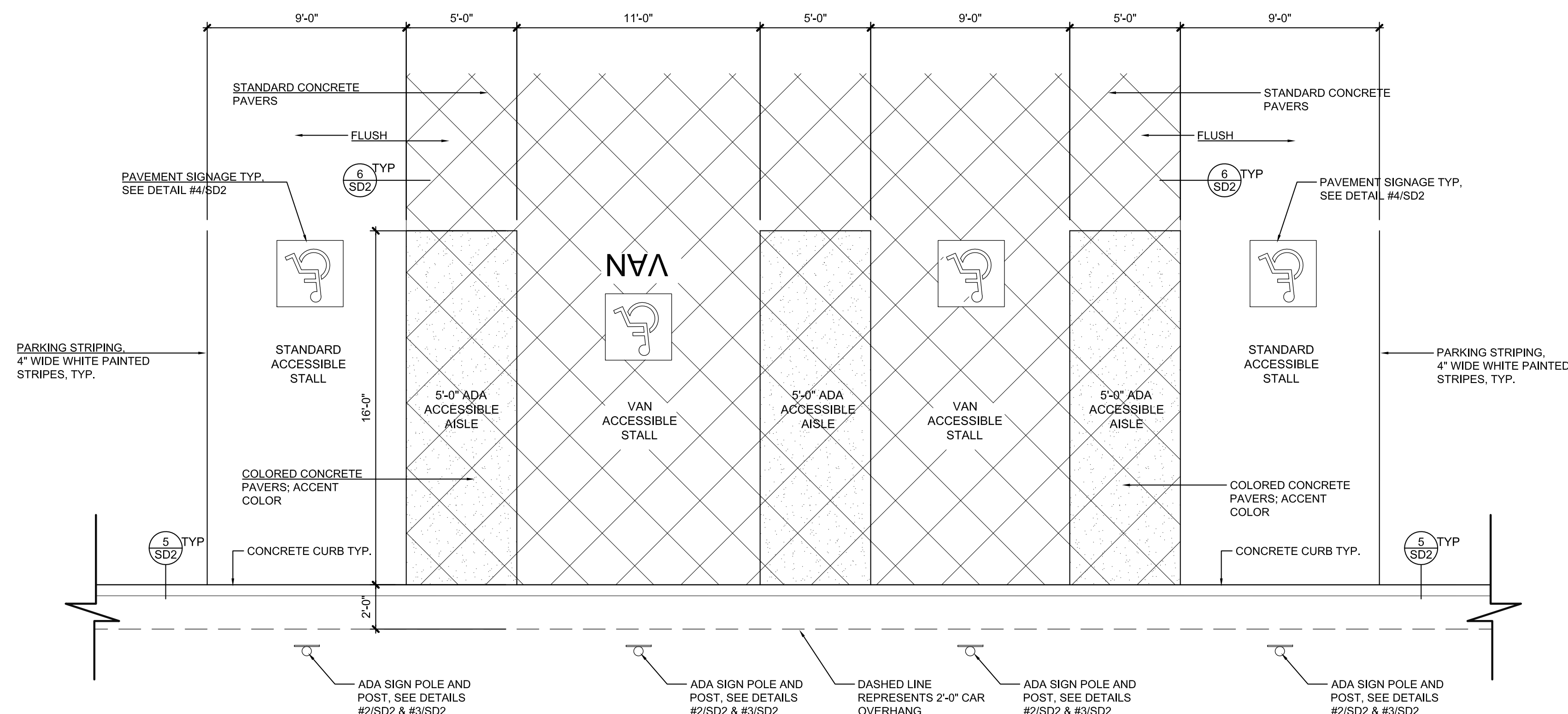


11 BICYCLE RACK
 SCALE: 3/8" = 1'-0"

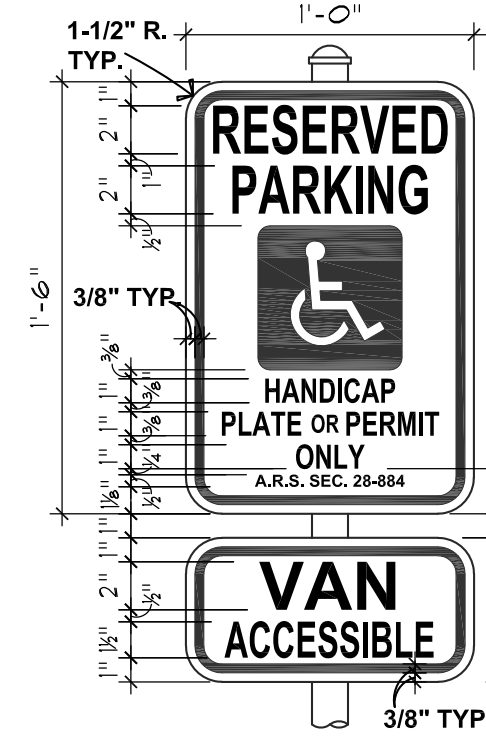


12 PRE-CAST CONCRETE BOLLARD
 SCALE: 3/8" = 1'-0"

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<p>Phase: Design Review</p>	
<p>Morris Brothers Offices 5520 East Baseline Rd Mesa, AZ 85206</p>	
<p>SITE WALL ELEVATIONS, SIGNAGE, TRASH ENCLOSURES & SITE DETAILS</p>	
<p>Project Number: 2009</p>	<p>Revision Date:</p>
<p>Date: 5/26/2020</p>	<p>Sheet Number: SD1</p>

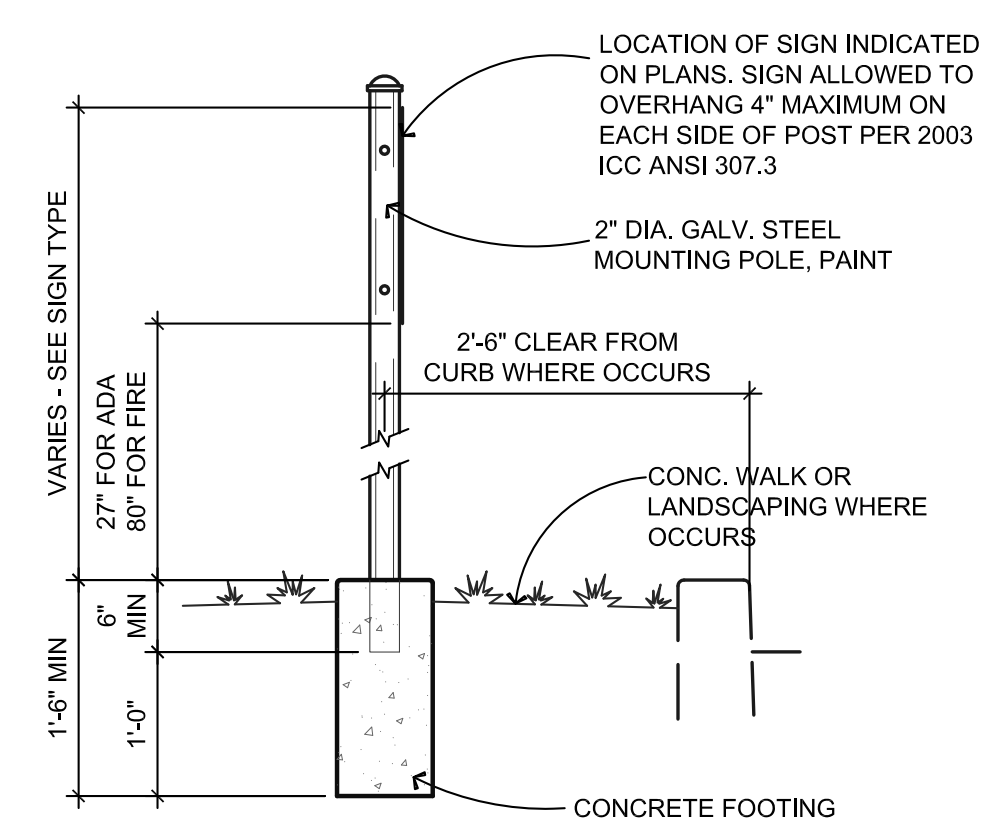


1 ENLARGED PLAN AT ADA PARKING
SCALE: 1/4" = 1'-0"

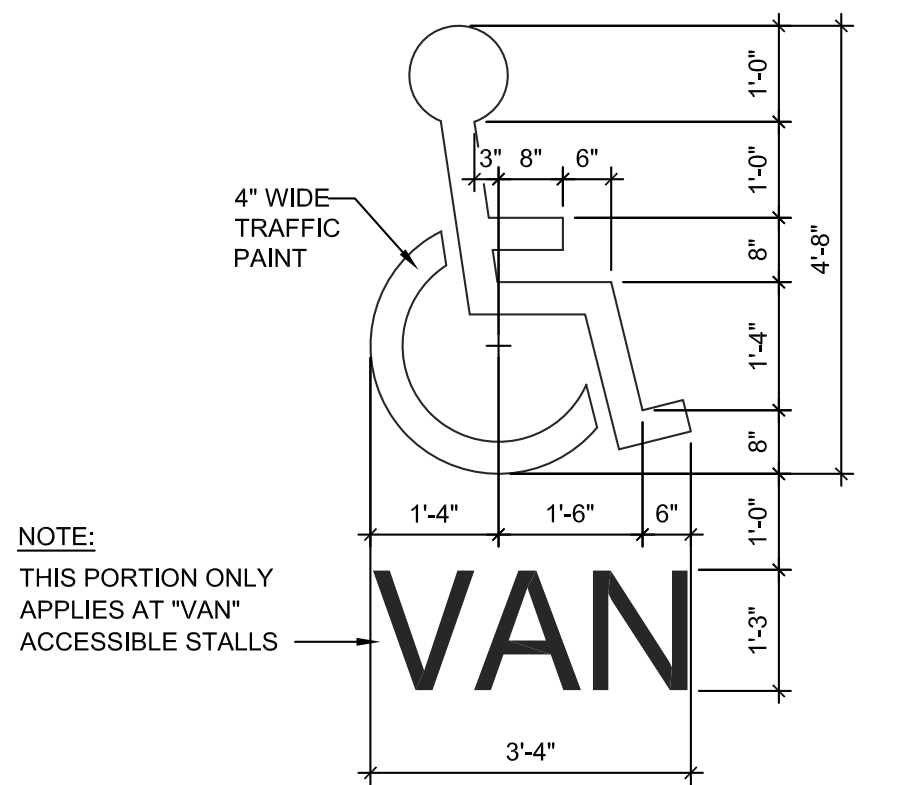


2 ADA PARKING SIGNAGE
SCALE: 1-1/2" = 1'-0"

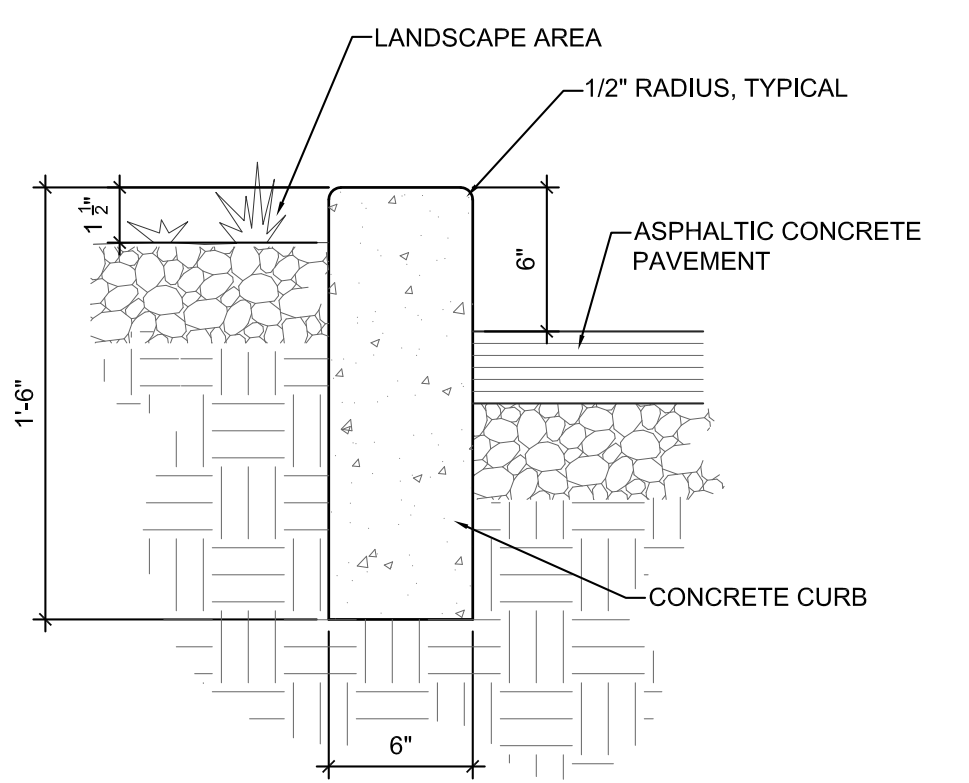
- NOTES:**
1. THE TOP OF THE SIGN SHALL BE 72 INCHES ABOVE FINISH GRADE.
 2. THE BOTTOM OF THE VAN ACCESSIBLE SIGN SHALL BE 48 INCHES ABOVE FINISH GRADE.
 3. SIGNS SHALL BE PROPERLY CENTERED WITHIN THE PARKING SPACE.
 4. THE VAN ACCESSIBLE SIGN SHALL BE CENTERED UNDER THE ACCESSIBLE PARKING SIGN AS SHOWN.
 5. THE SIGN FACE SHOULD BE LOCATED NO FARTHER THAN 6 FEET FROM THE FRONT OF EACH PARKING SPACE.
 6. ALL LETTERING AND BORDER BANDS SHALL BE A SERIES 'C' GREEN COLOR.
 7. INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL BE WHITE ON 6"x6" BLUE FIELD WITH 1/2 INCH RADIUS CORNERS.
 8. SIGN BLANK MATERIAL SHALL BE WHITE PRESSURE SENSITIVE ASTM TYPE IV WIDE ANGLE WHITE PRISMATIC REFLECTIVE SHEETING OR APPROVED EQUAL.
 9. FILM SHALL BE ELECTRO-CUT & APPLIED OVER THE WHITE SHEETING TO CREATE THE COLORED BORDER, TEXT & LEGEND. THE FILM SHALL BE TRANSPARENT ACRYLIC, PRESSURE SENSITIVE MATERIAL BY 3M OR APPROVED EQUAL.
- NOTE:**
ONLY INSTALL BOTTOM PORTION OF VAN ACCESSIBLE SIGN AT CAN STALLS ONLY



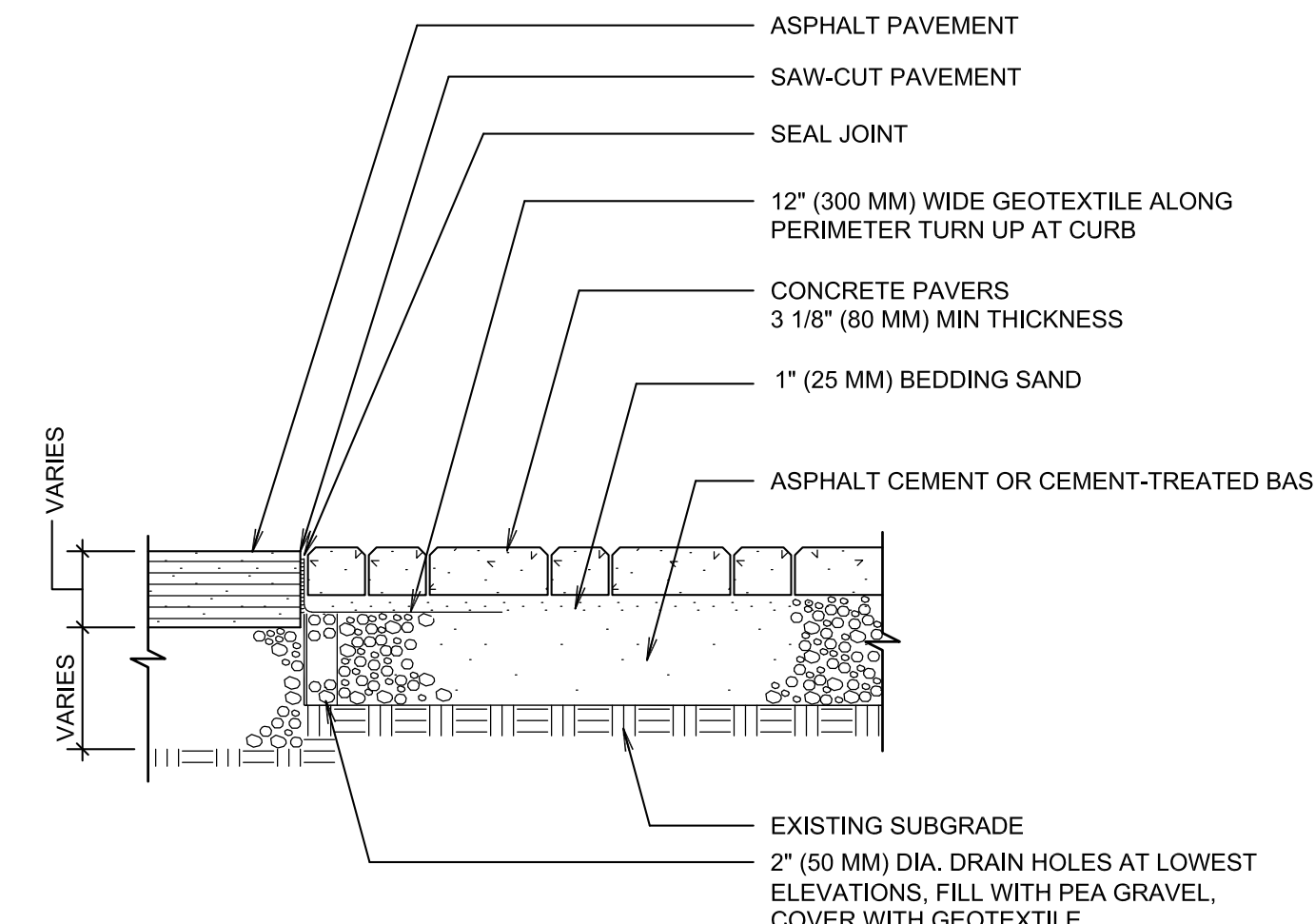
3 SIGN POST & BASE
SCALE: 3/4" = 1'-0"
PER 2003 ICC / ANSI A117.1



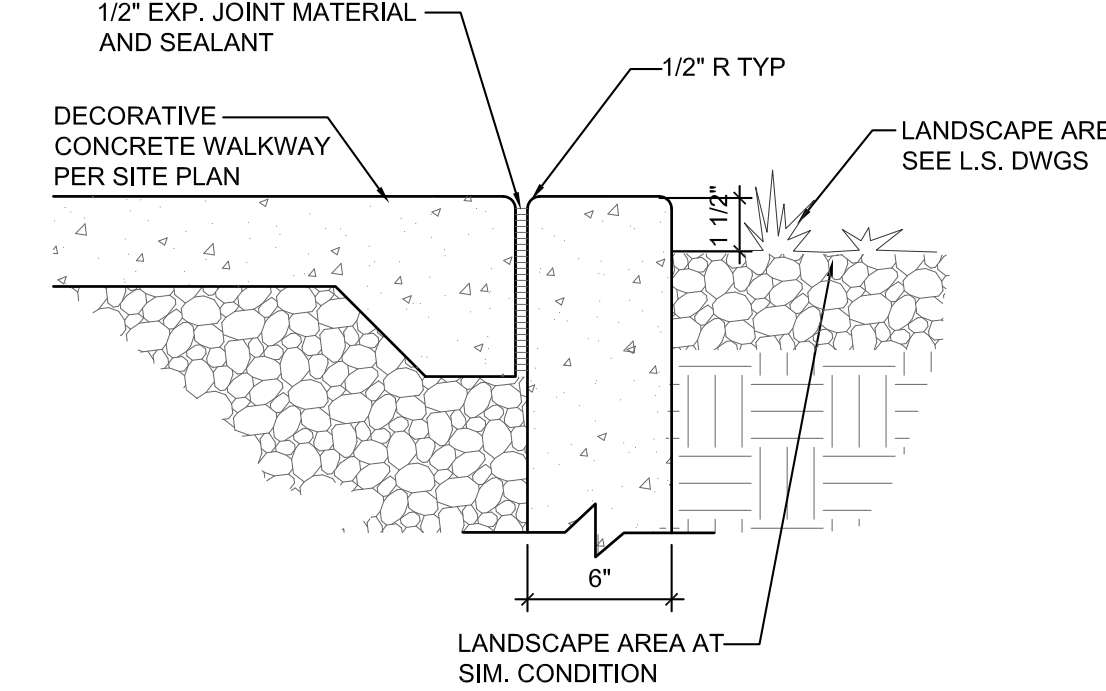
4 PAINTED ACCESSIBLE PARKING SYMBOL
SCALE: 1/2" = 1'-0"



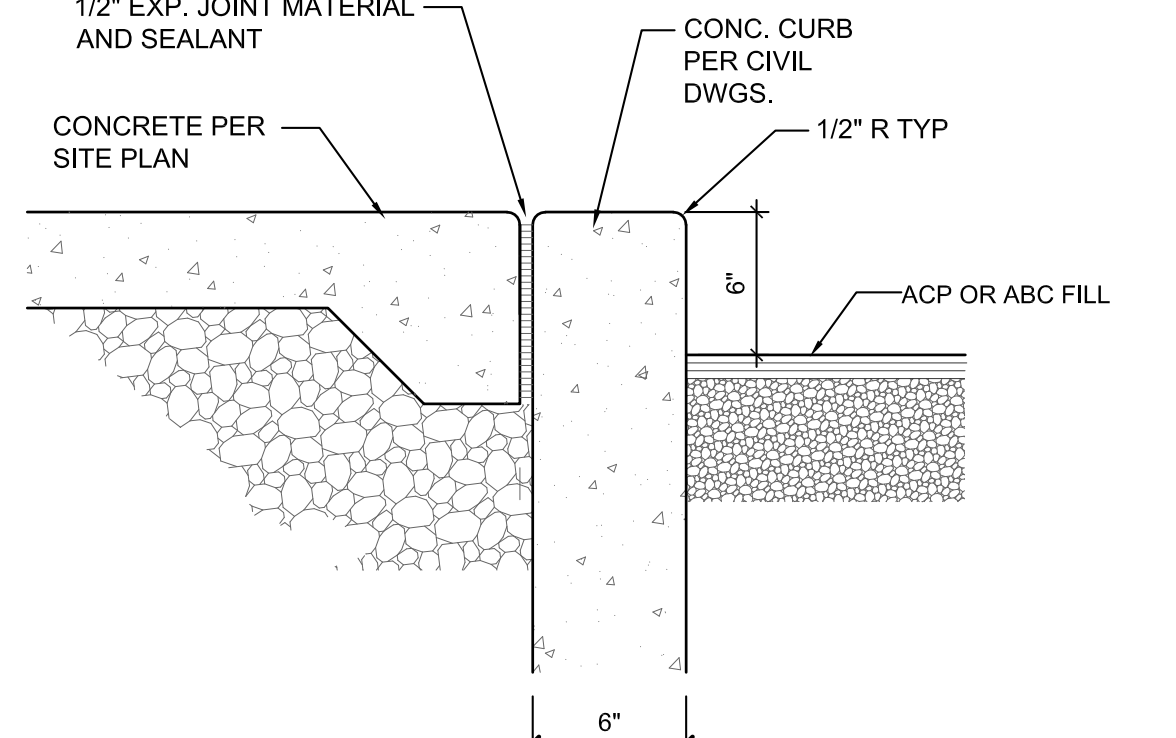
5 SECTION AT CONCRETE CURB
SCALE: 1-1/2" = 1'-0"



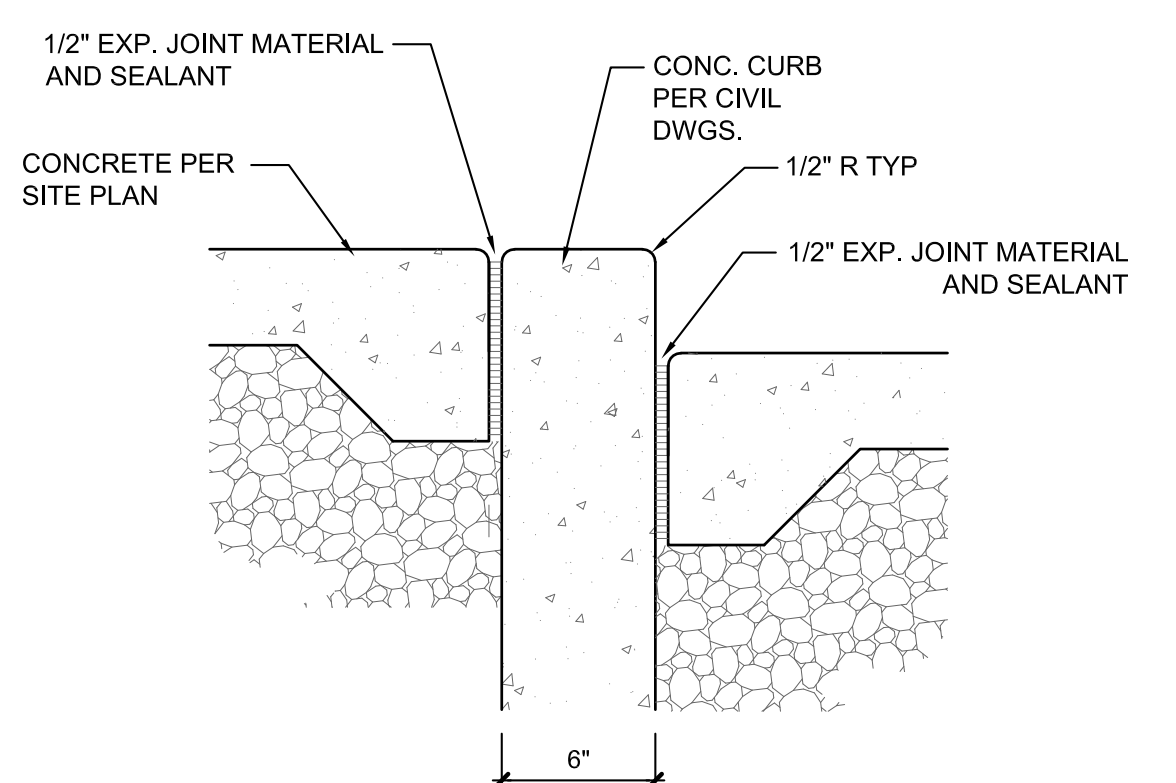
6 SECTION AT PAVERS
SCALE: 1" = 1'-0"



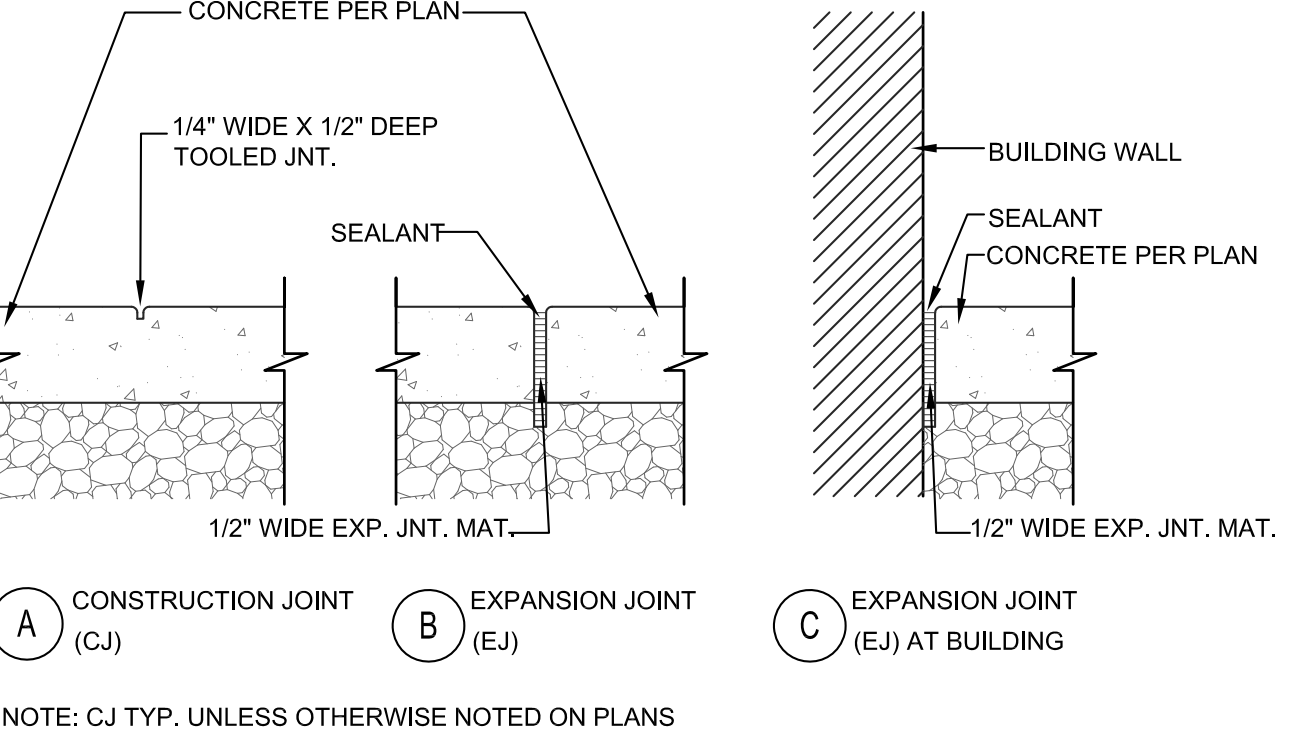
7 CONCRETE WALKWAY TRANSITION
SCALE: 1-1/2" = 1'-0"



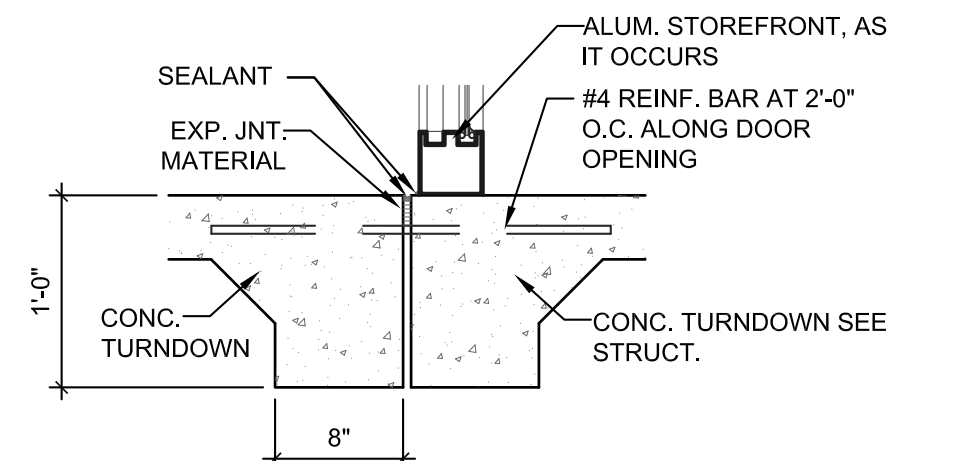
8 PAVING TRANSITION AT ASPHALT
SCALE: 1 1/2" = 1'-0"



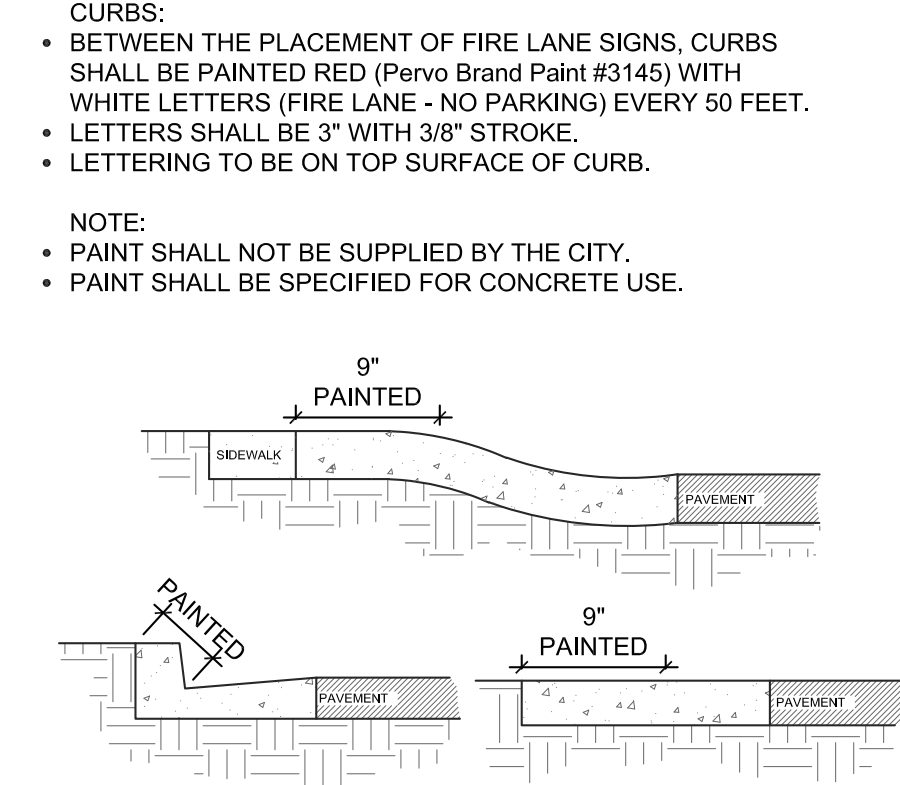
9 PAVING TRANSITION AT CONCRETE
SCALE: NTS.



10 CONCRETE JOINTS
SCALE: 1-1/2" = 1'-0"

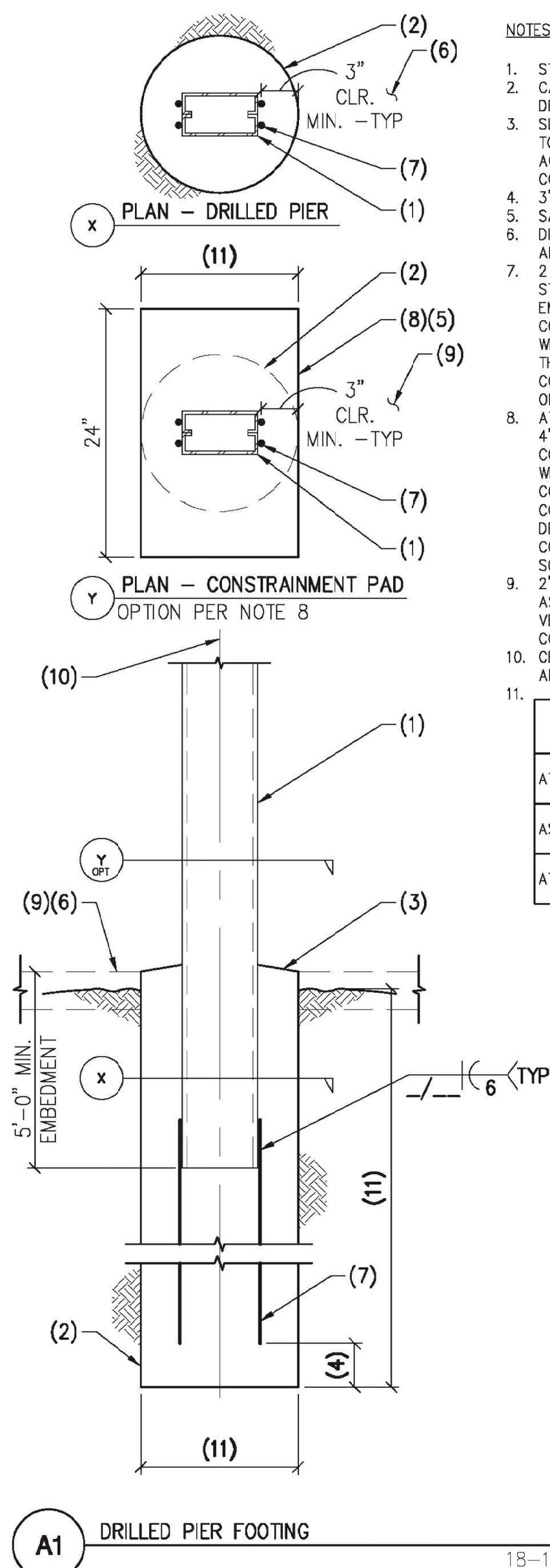
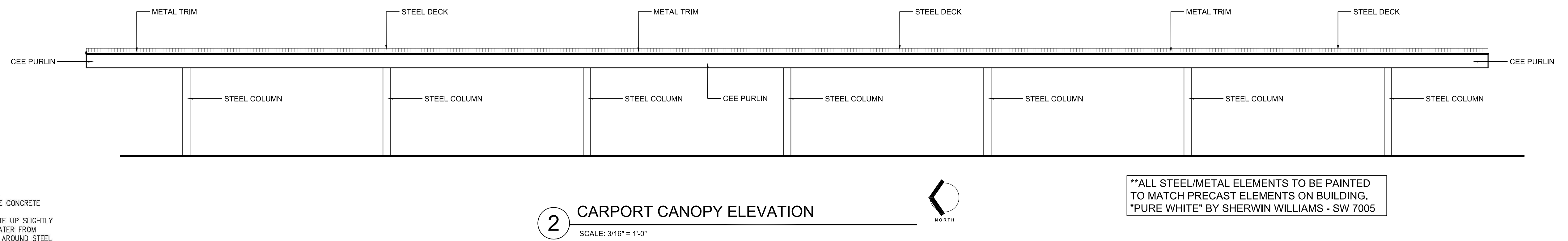
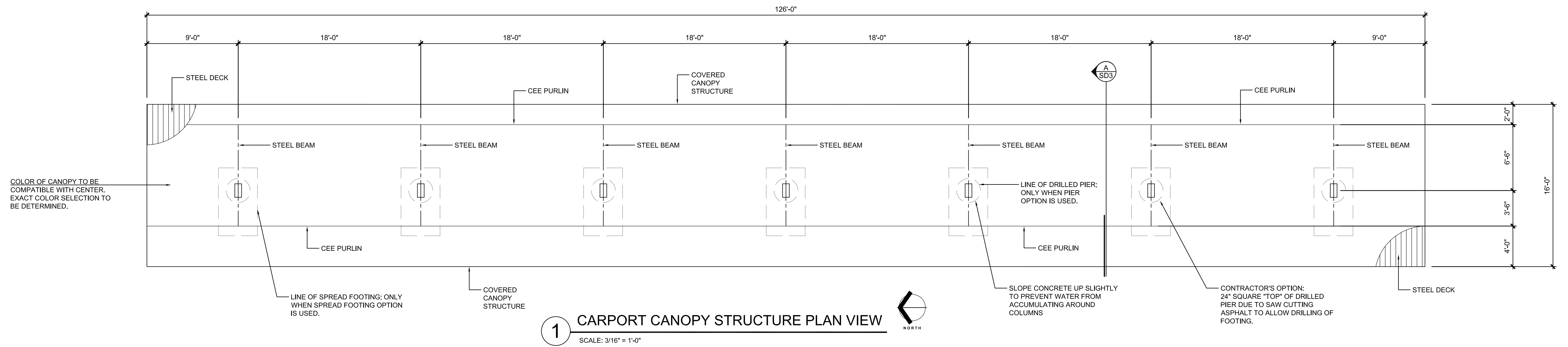


11 EXPANSION JOINT AT STOREFRONT
SCALE: 1" = 1'-0"

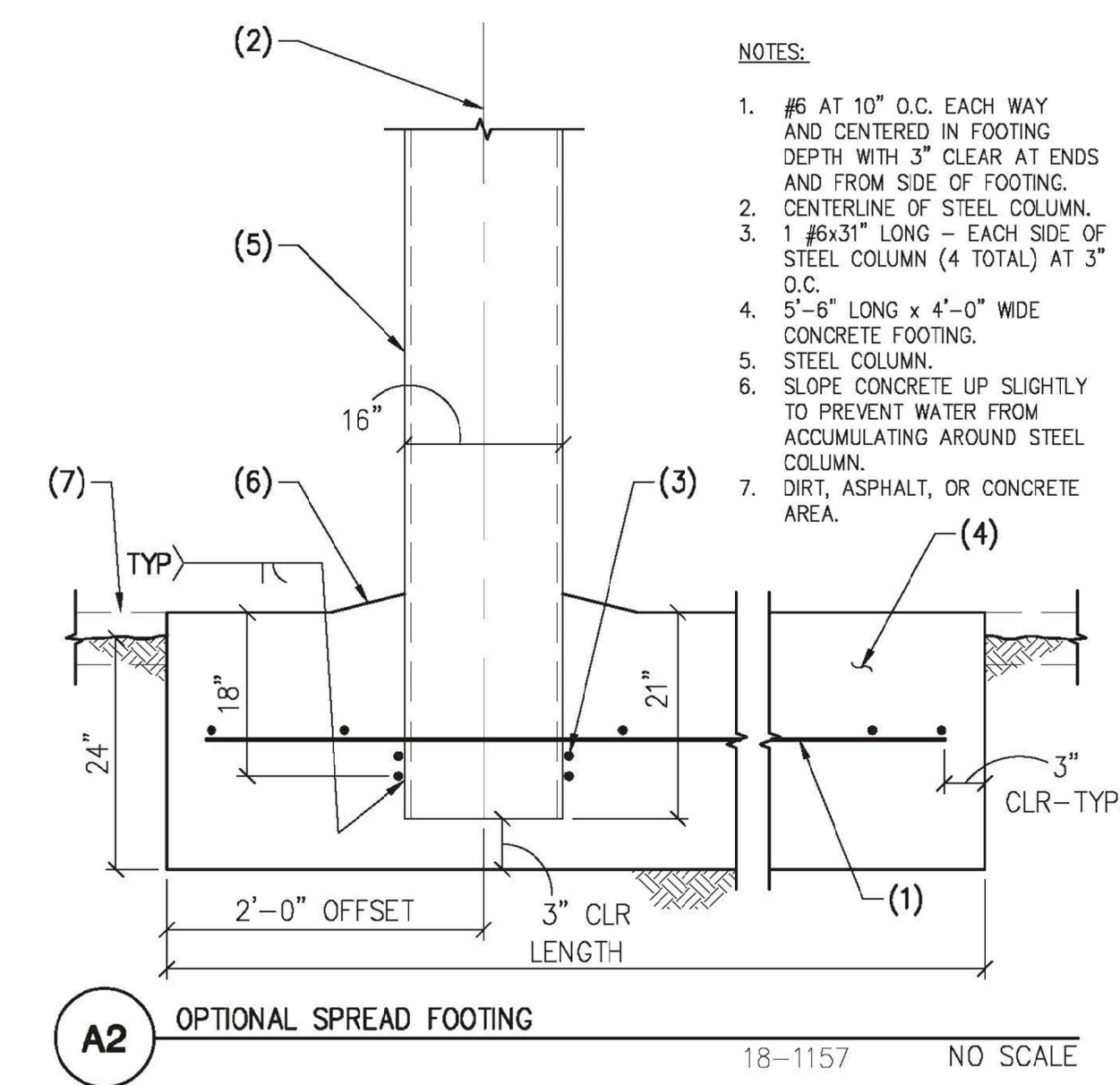
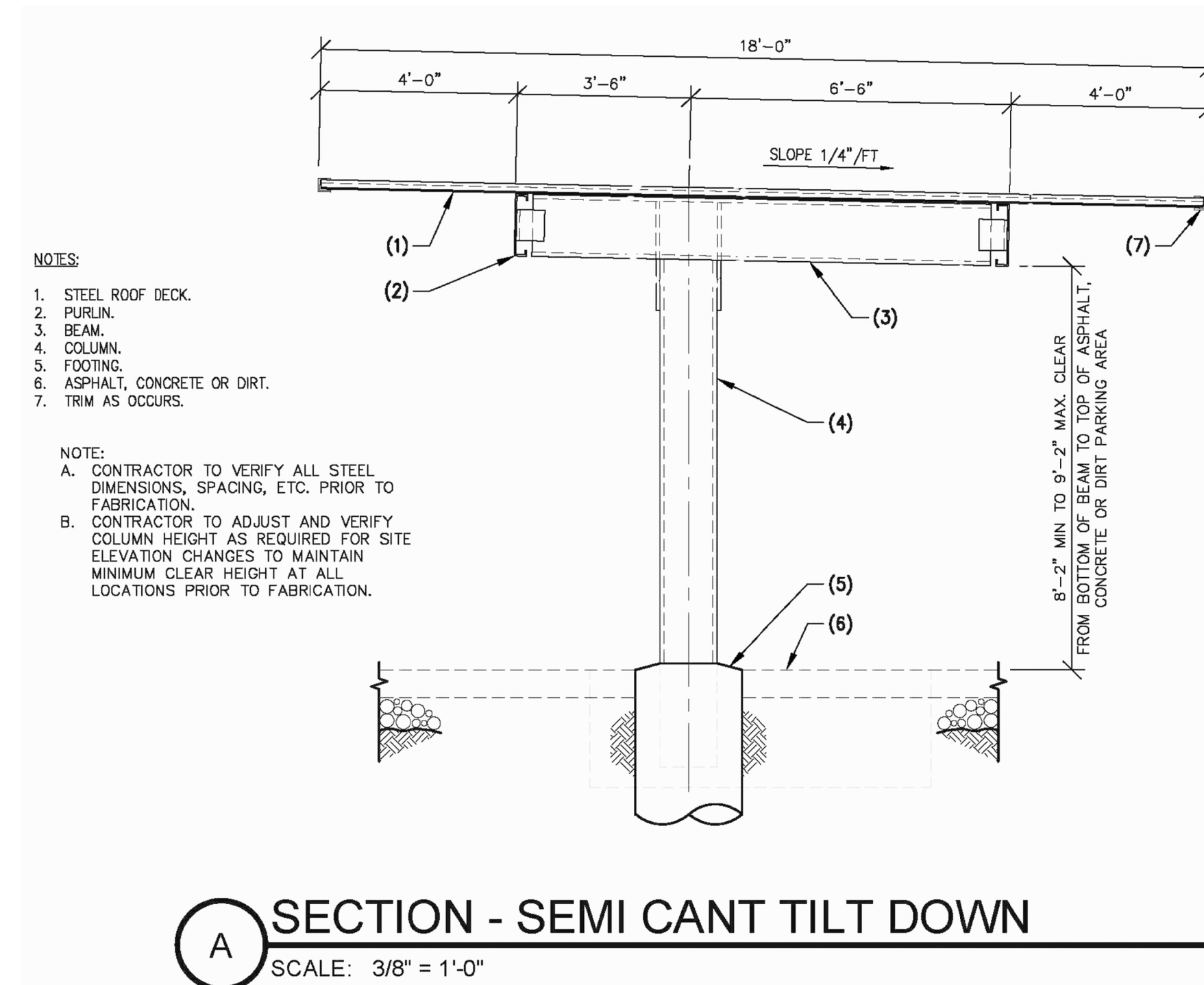


12 FIRE LANE MARKINGS
SCALE: 1" = 1'-0"

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		Design Review
<p>Morris Brothers Offices 5520 East Baseline Rd Mesa, AZ 85206</p>		
<p>SITE DETAILS</p>		
Project Number: 2009	Revision Date:	Sheet Number: SD2
Date: 5/26/2020		



- NOTES:
1. STEEL COLUMN.
 2. CAST-IN-PLACE CONCRETE DRILLED PIER.
 3. SLOPE CONCRETE UP SLIGHTLY TO PREVENT WATER FROM ACCUMULATING AROUND STEEL COLUMN.
 4. 3" MIN. 12" MAX.
 5. SAWCUT ASPHALT AS SHOWN.
 6. DIRT, ASPHALT OR CONCRETE AREA.
 7. 2 #6 BARS EACH SIDE OF STEEL COLUMN (4 TOTAL) OR EMBED STEEL COLUMN INTO CONCRETE DRILLED PIER TO WITHIN 3" MIN, 12" MAX OF THE BOTTOM OF THE CONCRETE DRILLED PIER AND OMIT REBAR.
 8. AT CONTRACTOR'S OPTION: 4" THICK CONCRETE CONSTRAINT PAD FLUSH WITH ADJACENT ASPHALT. IF CONSTRAINT PAD IS CONSTRUCTED, USE THE DRILLED PIER DEPTH FOR THE CONCRETE AREA IN THE SCHEDULE AT NOTE 11 BELOW.
 9. 2" MINIMUM THICKNESS ASPHALT PAVING TO BE VERIFIED ON SITE WHEN CONSTRAINT PAD IS USED.
 10. CENTERLINE OF STEEL COLUMN AND FOOTING.
 - 11.



REGISTERED ARCHITECT
VINCENT P. DIBELLA
ARIZONA US A
EXPIRES 9-31-2023

26988
VINCENT P. DIBELLA

adaptive ARCHITECTS
1630 S. Stapley Drive
Suite 229
Mesa, AZ 85204
480-655-0033
www.adaptivearchitectsinc.com

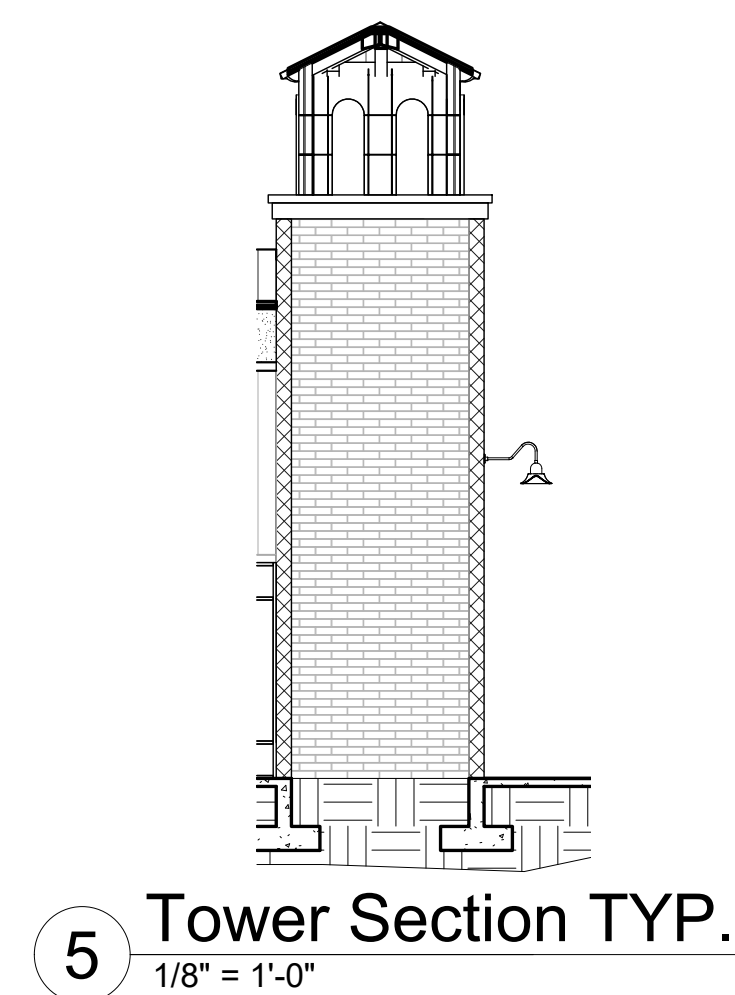
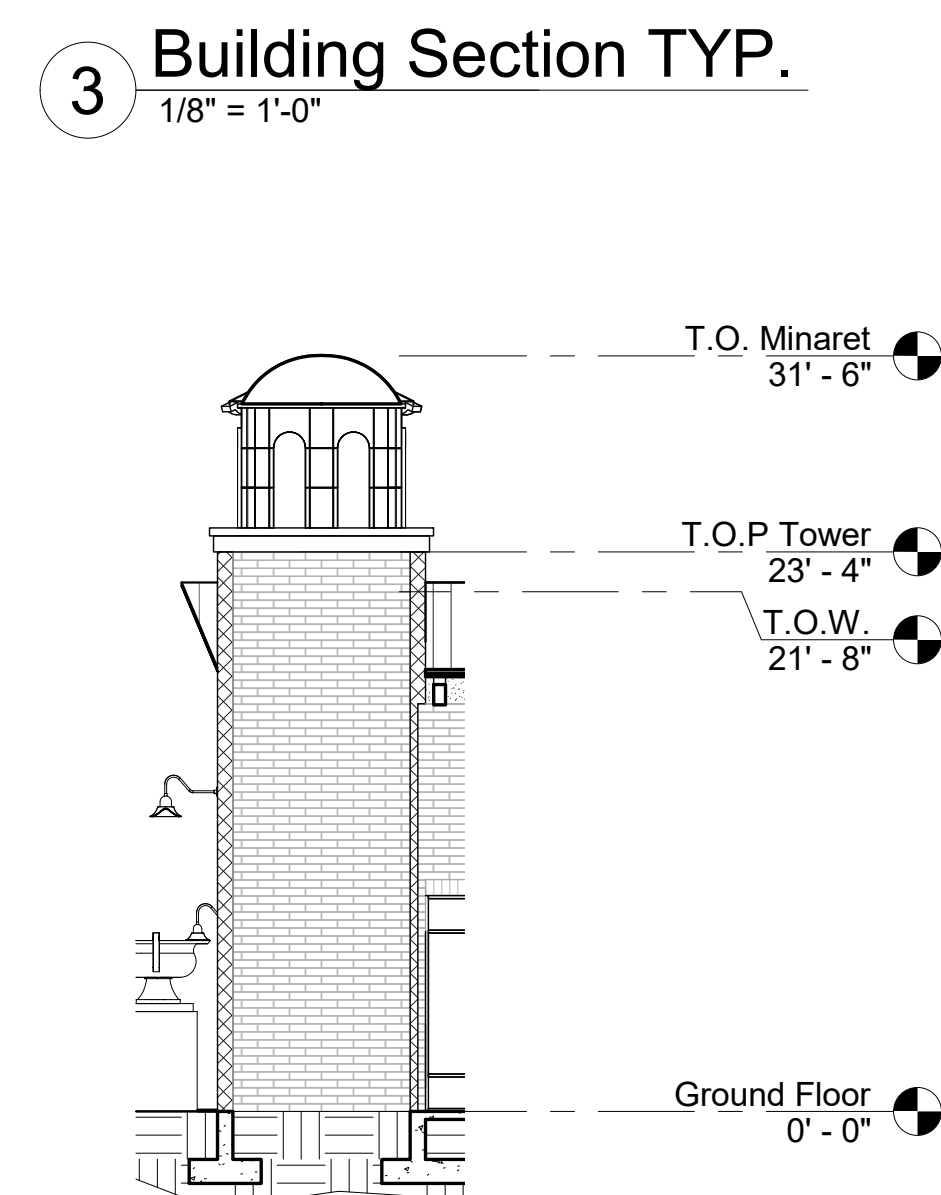
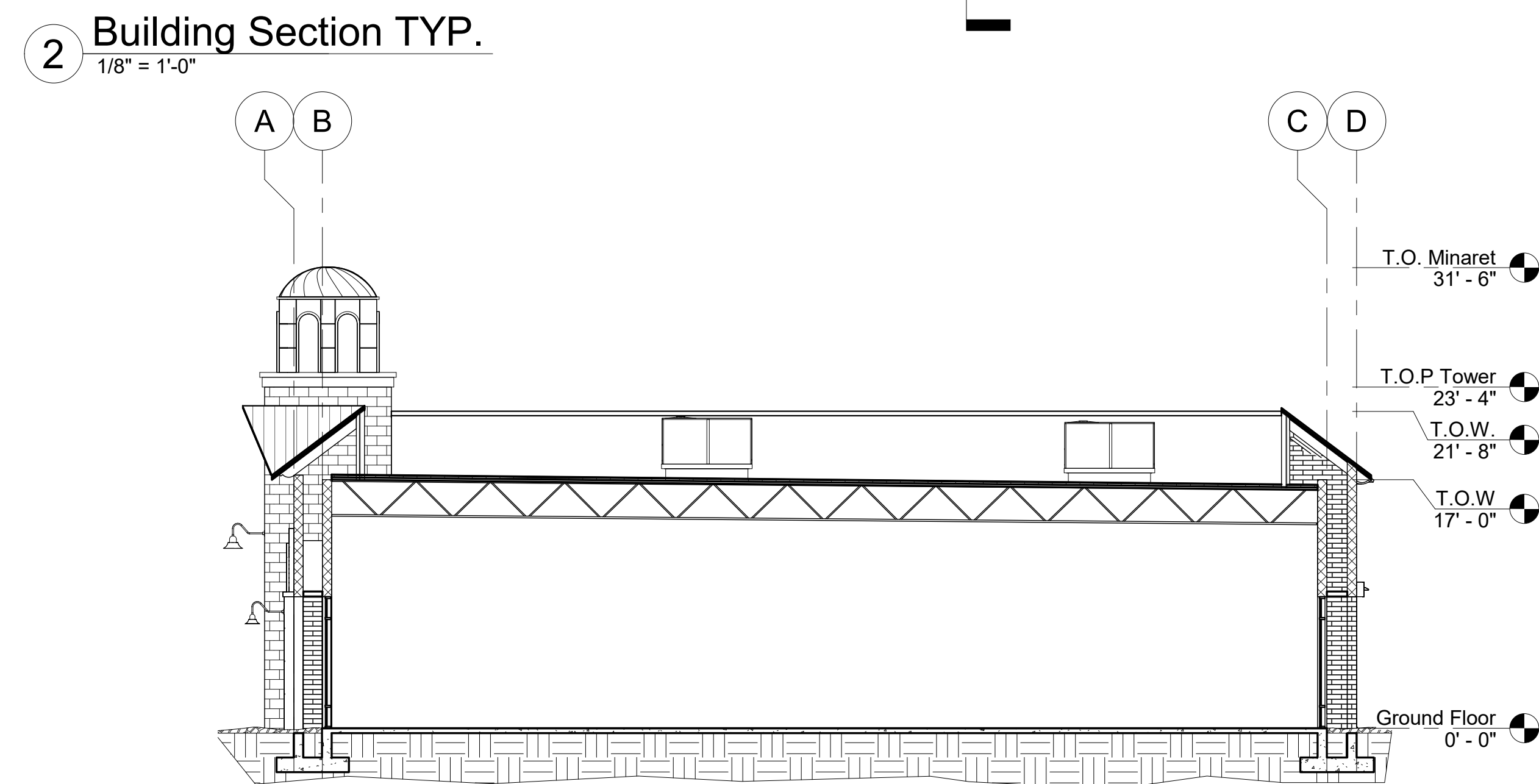
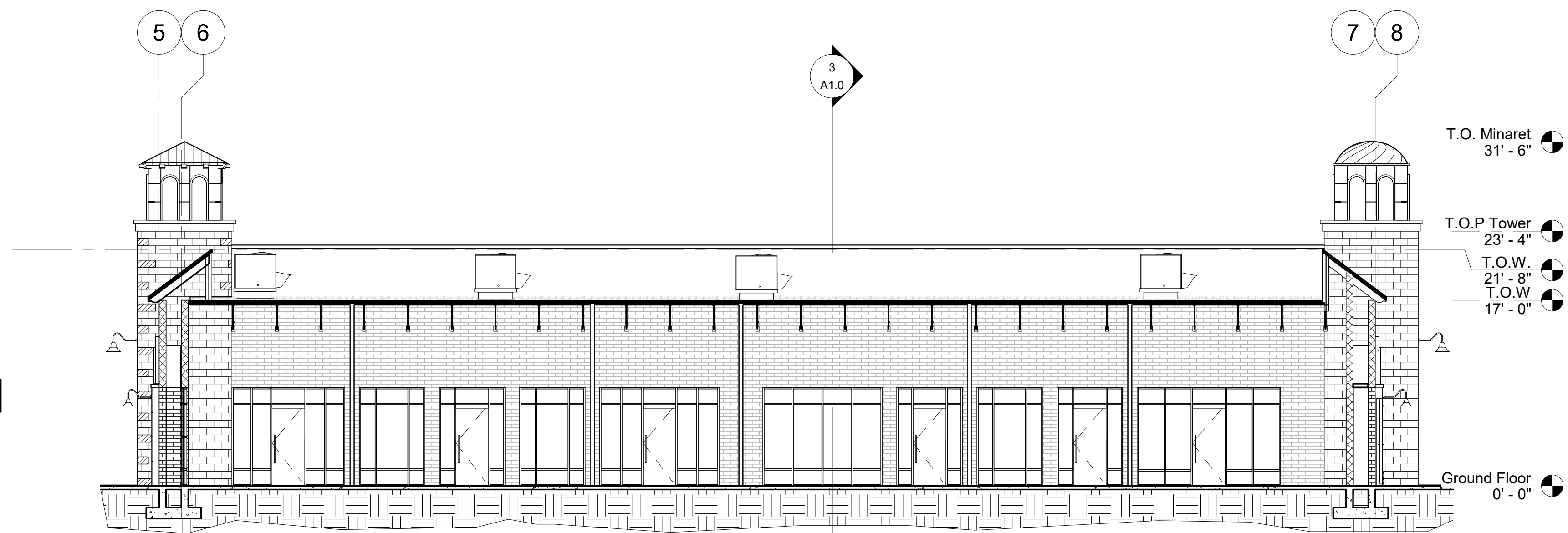
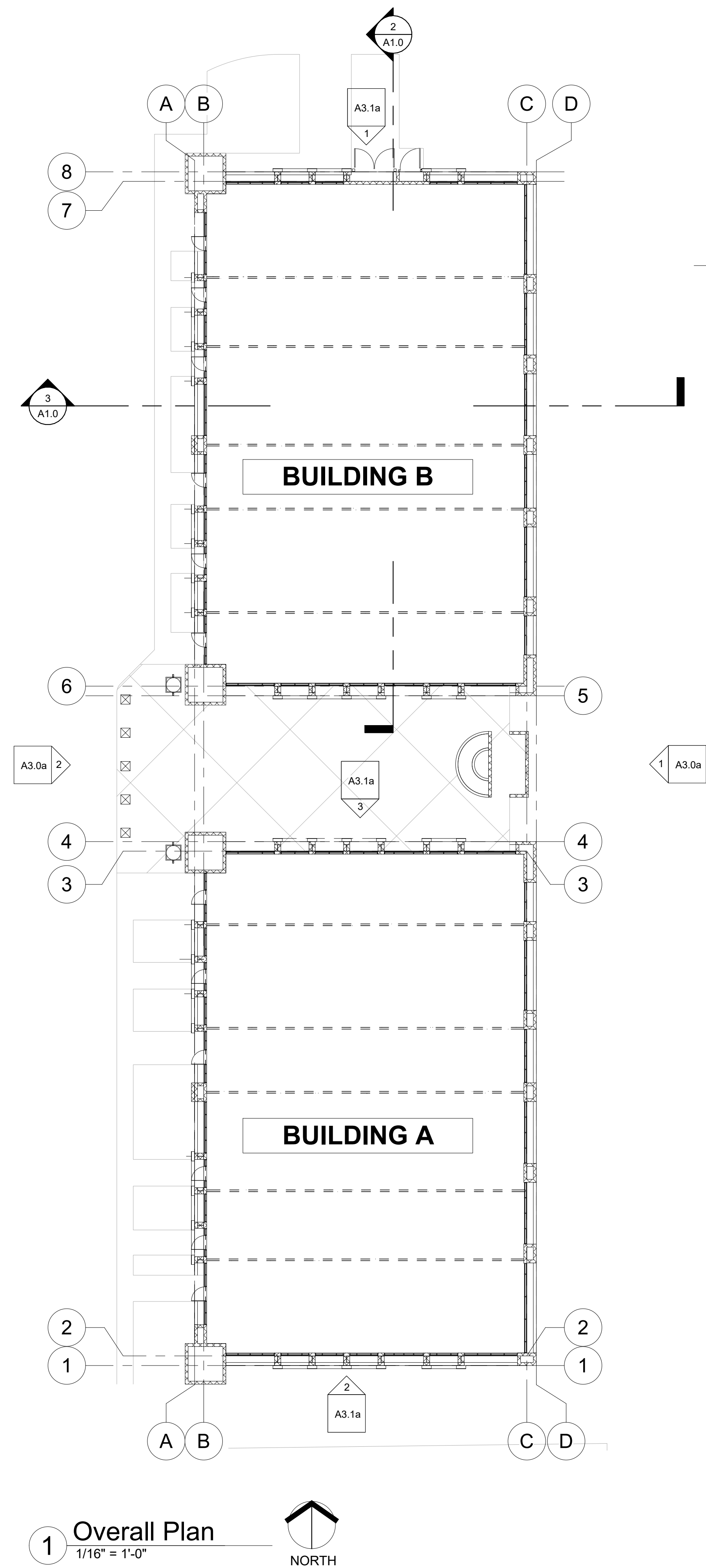
Phase
Design Review

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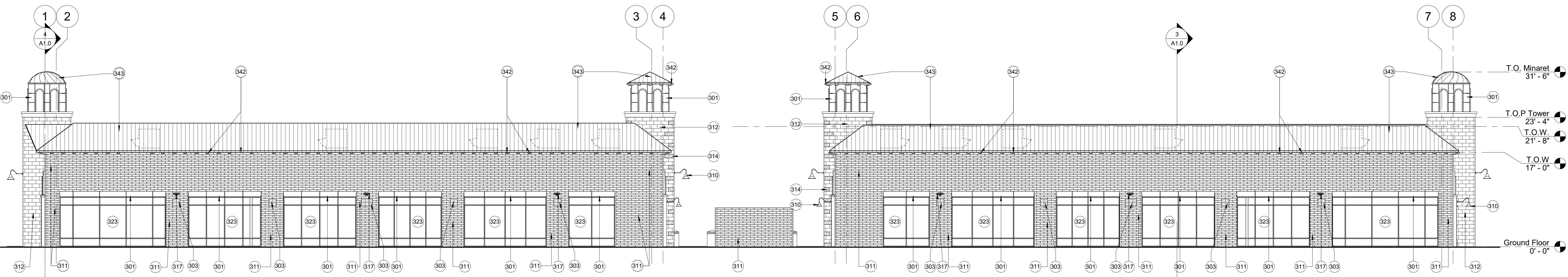
CARPORT CANOPY STRUCTURE DETAILS

Project Number: 2009
Revision Date:
Date: 5/26/2020

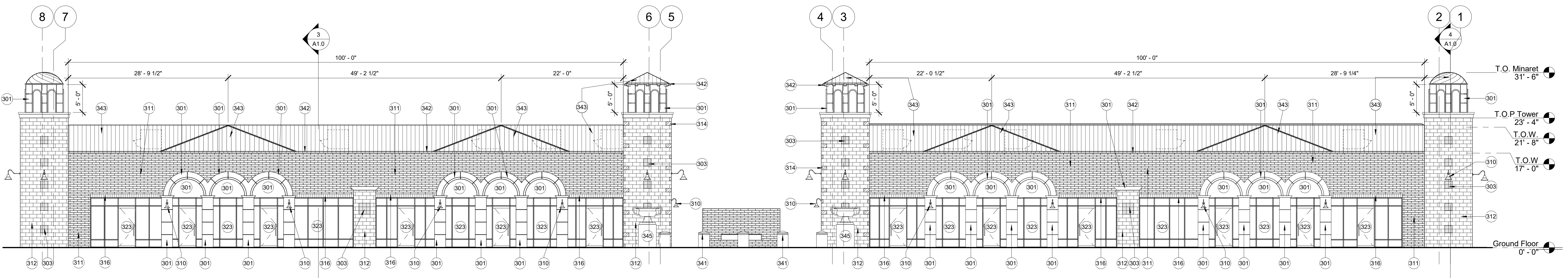
Sheet Number:
SD3



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Phase: Design Review		
Morris Brothers Offices 5520 East Baseline Rd. Mesa, AZ 85206		
Overall Floor Plan and Sections		
Project Number: 2009	Revision, Date, Description, Date, Sheet Number:	A1.0
Date: 5/26/2020		



1 East Overall Elevation
1/8" = 1'-0"



2 West Overall Elevation
1/8" = 1'-0"

KEYNOTES	
301	PRECAST CONCRETE OR EIFS. 2" PROJECTION FROM FACE OF WALL. SHERWIN WILLIAMS SW 7005; COLOR: "PURE WHITE"
303	8" X 8" X 8" TRENWYTH MESASTONE, COLOR: "MISSION WHITE"
310	LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
311	8" X 4" X 16" SAND BLASTED CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS
312	8" X 8" X 16" STANDARD CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS @ TOWERS AND PIERS
314	8" X 8" X 16" MESASTONE CMU; COLOR: "BLACK CANYON"
316	8" X 4" X 8" SOLIDER COURSE SANDBLASTED CMU
317	EAST SIDE LIGHT FIXTURE
323	BLACK ALUMINUM-FRAMED ENTRANCE AND STOREFRONT
341	PRECAST CONCRETE BOLLARD. SHERWIN WILLIAMS SW 7005; COLOR: "PURE WHITE"
342	EXPOSED LATIA/RAFTERS
343	STANDING SEAM ROOF; ATAS INTERNATIONAL; COLOR: "ANTIQUE PATINA"
345	CAST IRON URN FIXTURE PROVIDED BY OWNER

EXTERIOR ELEVATION LEGEND

	8 X 8 X 16" STANDARD CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 4 X 16" SANDBLASTED CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 8 X 8" MESASTONE CMU, COLOR: MISSION WHITE
	8 X 8 X 16" MESASTONE CMU, COLOR: BLACK CANYON
	8 X 4 X 16" SOLIDER COURSE SANDBLASTED CMU

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CERTIFICATE NO.
26988
VINCENT P.
DIBELLA
ARIZONA US A
EXPIRES 3-31-23

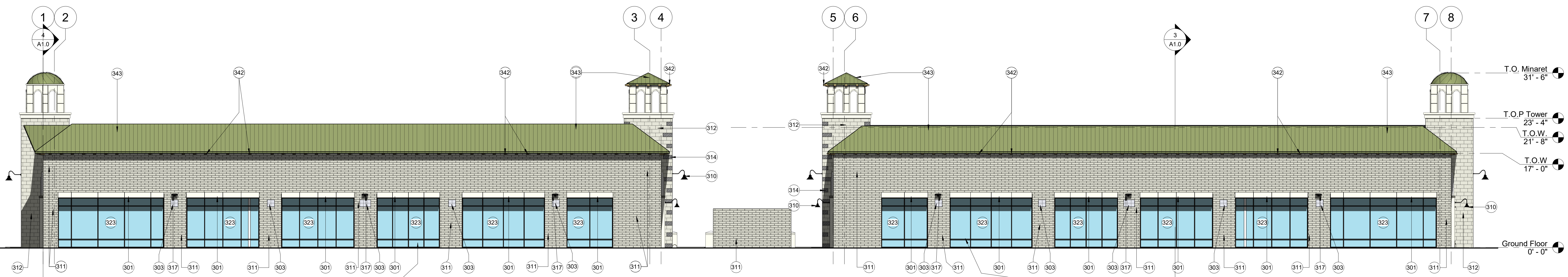
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ARCHITECTS
1630 S. Stapley Drive
Suite 279
Mesa, AZ 85204
480-655-0633
www.adaptivearchitectsinc.com

Design Review

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Mesa, AZ 85206

Exterior Elevations

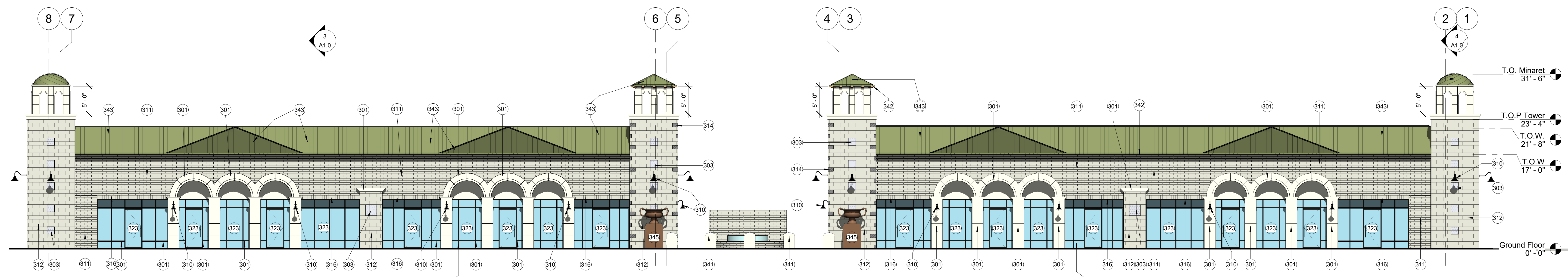
Project	Revision	Date	Description	Sheet Number
2009				
Date: 5/26/2020				A3.0



1 East Overall Elevation Colored
1/8" = 1'-0"

Bldg. A Total S.F. = 2,488 S.F.
8" x 4" x 16" CMU Block = 1,089 S.F. (43%)
Glass = 719 S.F. (29%)
Precast/EIFS Elements = 79 S.F. (3%)
Metal Roof = 590 S.F. (24%)
Trendstone Mission White CMU = 11 S.F. (1%)

Bldg. B Total S.F. = 2,488 S.F.
8" x 4" x 16" CMU Block = 1,089 S.F. (43%)
Glass = 719 S.F. (29%)
Precast/EIFS Elements = 79 S.F. (3%)
Metal Roof = 590 S.F. (24%)
Trendstone Mission White CMU = 11 S.F. (1%)



2 West Overall Elevation Colored
1/8" = 1'-0"

Bldg. B Total S.F. = 2,706 S.F.
8" x 4" x 16" CMU Block = 561 S.F. (21%)
Glass = 679 S.F. (25%)
Precast/EIFS Elements = 497 S.F. (18%)
Metal Roof = 526 S.F. (19%)
Trendstone Mission White CMU = 24 S.F. (1%)
Mesastone Black Canyon CMU = 24 S.F. (1%)
8" x 8" x 16" CMU Block = 395 S.F. (15%)

Bldg. A Total S.F. = 2,706 S.F.
8" x 4" x 16" CMU Block = 561 S.F. (21%)
Glass = 679 S.F. (25%)
Precast/EIFS Elements = 497 S.F. (18%)
Metal Roof = 526 S.F. (19%)
Trendstone Mission White CMU = 24 S.F. (1%)
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8" x 8" x 16" CMU Block = 395 S.F. (15%)

KEYNOTES	
301	PRECAST CONCRETE OR EIFS. 2" PROJECTION FROM FACE OF WALL. SHERWIN WILLIAMS SW 7005; COLOR: "PURE WHITE"
303	8" X 8" X 8" TRENWYTH MESASTONE. COLOR: "MISSION WHITE"
310	LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
311	8" X 4" X 16" SAND BLASTED CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS
312	8" X 8" X 16" STANDARD CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS @ TOWERS AND PIERS
314	8" X 4" X 16" MESASTONE CMU. COLOR: "BLACK CANYON"
316	8" X 4" X 8" SOLIDER COURSE SANDBLASTED CMU
317	EAST SIDE LIGHT FIXTURE
323	BLACK ALUMINUM-FRAMED ENTRANCE AND STOREFRONT
341	PRECAST CONCRETE BOLLARD. SHERWIN WILLIAMS SW 7005; COLOR: "PURE WHITE"
342	EXPOSED LATIA/RAFTERS
343	STANDING SEAM ROOF; ATAS INTERNATIONAL; COLOR: "ANTIQUE PATINA"
345	CAST IRON URN FIXTURE PROVIDED BY OWNER

EXTERIOR ELEVATION LEGEND

	8 X 8 X 16" STANDARD CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 4 X 16" SANDBLASTED CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 8 X 8" MESASTONE CMU. COLOR: MISSION WHITE
	8 X 4 X 16" MESASTONE CMU. COLOR: BLACK CANYON
	8 X 4 X 16" SOLIDER COURSE SANDBLASTED CMU

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 ARCHITECTS
 1630 S. Stapley Drive
 Suite 219
 Mesa, AZ 85204
 480-655-0633
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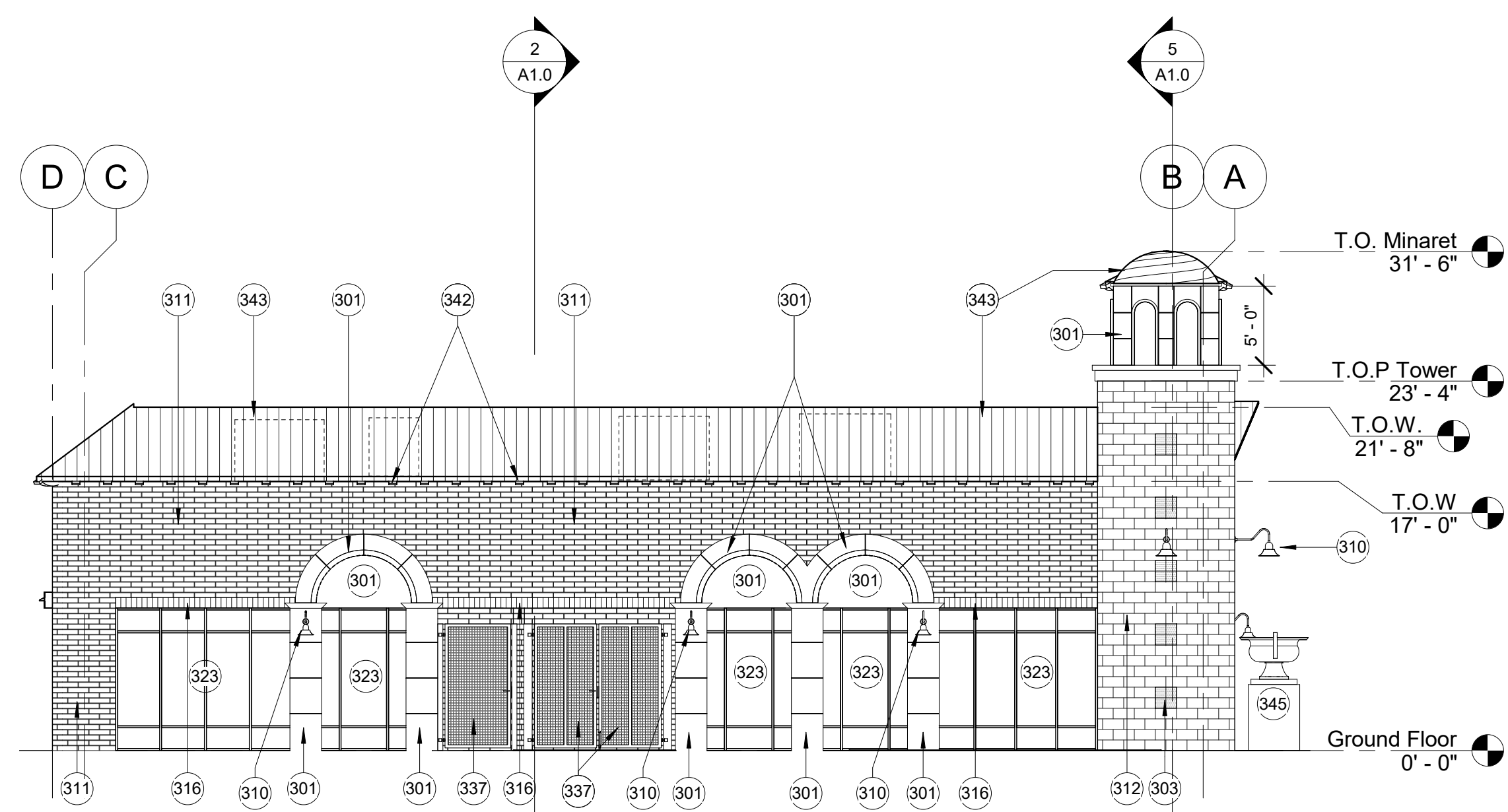
Design Review

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Mesa, AZ 85206

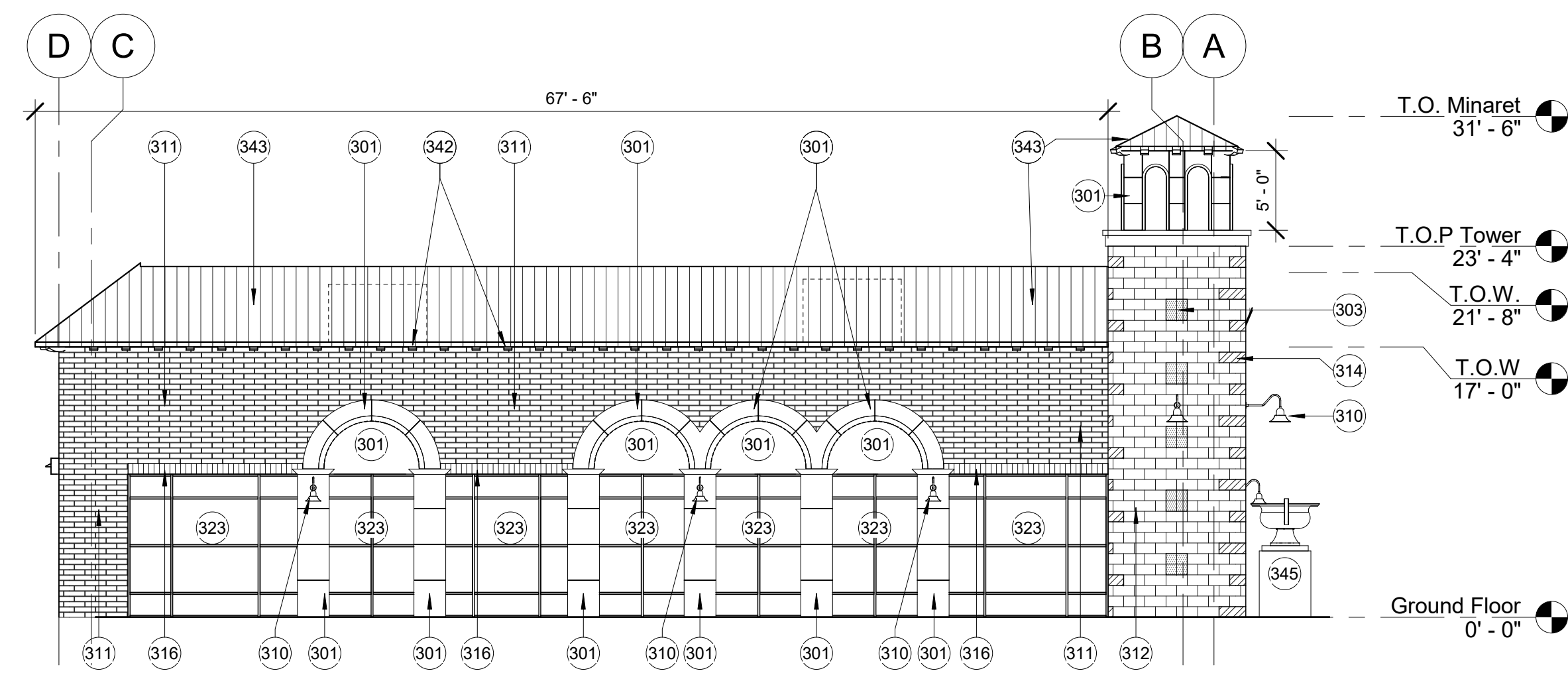
Colored Elevations

Project Number	Revision	Date	Description	Sheet Number
2009				
		5/26/2020		

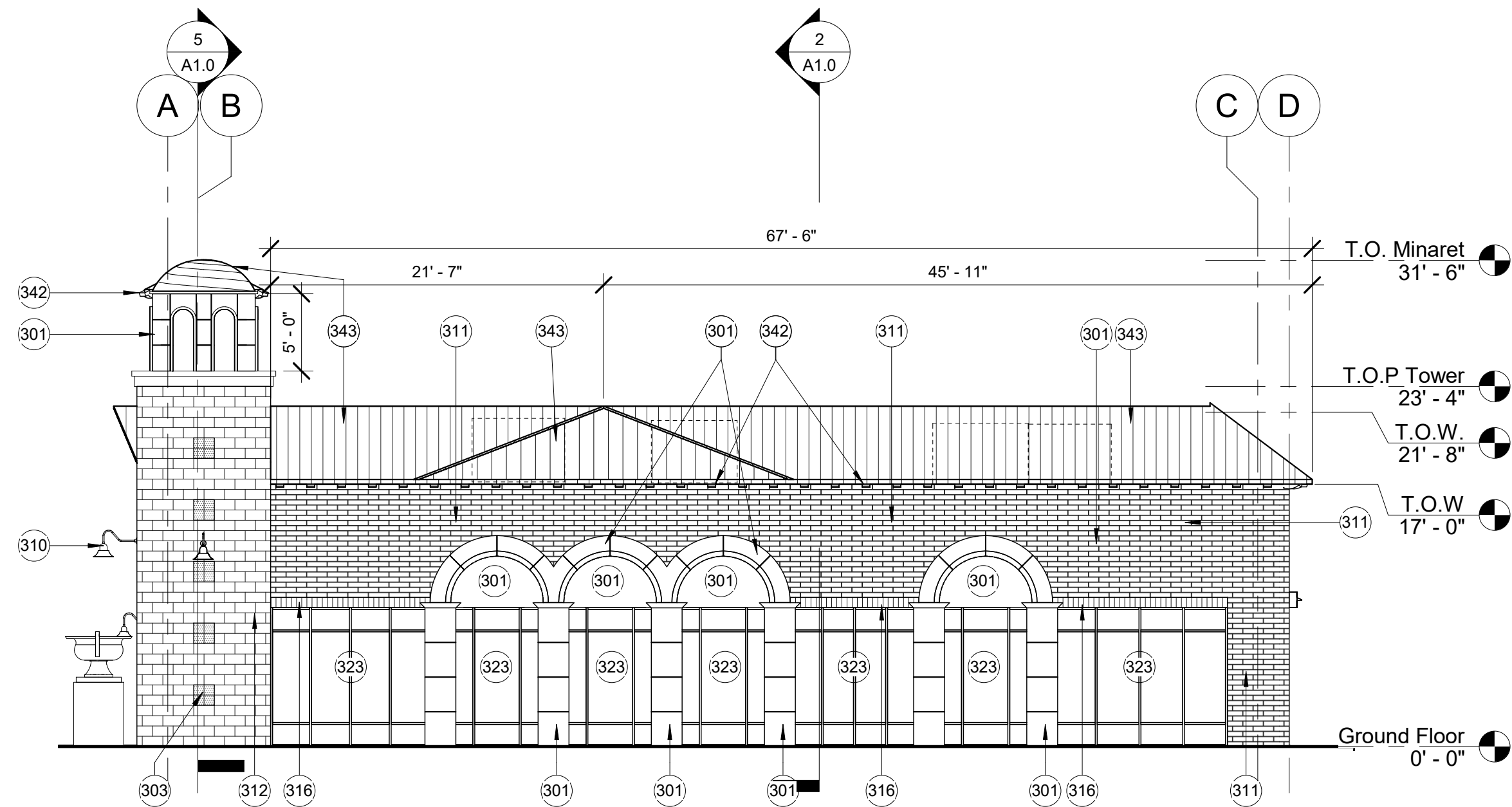
A3.0a



1 North Elevation Building A
1/8" = 1'-0"



2 Interior Courtyard Elevation TYP.
1/8" = 1'-0"

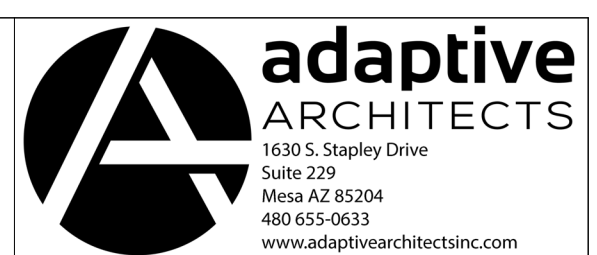
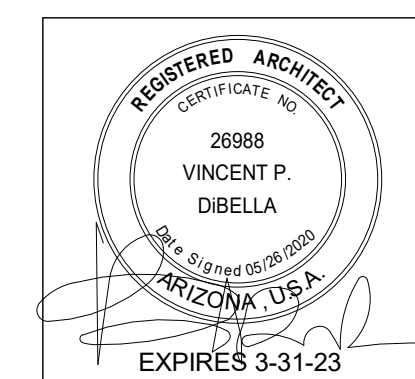


3 South Elevation Building B
1/8" = 1'-0"

KEYNOTES	
301	PRECAST CONCRETE OR EIFS, 2" PROJECTION FROM FACE OF WALL, SHERWIN WILLIAMS SW 7005, COLOR: "PURE WHITE"
303	8" X 8" X 8" TRENWYTH MESASTONE, COLOR: "MISSION WHITE"
310	LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
311	8" X 4" X 16" SAND BLASTED CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS
312	8" X 8" X 16" STANDARD CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS @ TOWERS AND PIERS
314	8" X 8" X 16" MESASTONE CMU; COLOR: "BLACK CANYON"
316	8" X 4" X 8" SOLIDER COURSE SANDBLASTED CMU
323	BLACK ALUMINUM-FRAMED ENTRANCE AND STOREFRONT
337	METAL GATE; MATCH STOREFRONT FINISH
342	EXPOSED LATIA/RAFTERS
343	STANDING SEAM ROOF; ATAS INTERNATIONAL; COLOR: "ANTIQUE PATINA"
345	CAST IRON URN FIXTURE PROVIDED BY OWNER

EXTERIOR ELEVATION LEGEND

	8 X 8 X 16" STANDARD CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 4 X 16" SANDBLASTED CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 8 X 8" MESASTONE CMU, COLOR: MISSION WHITE
	8 X 8 X 16" MESASTONE CMU, COLOR: BLACK CANYON
	8 X 4 X 16" SOLIDER COURSE SANDBLASTED CMU

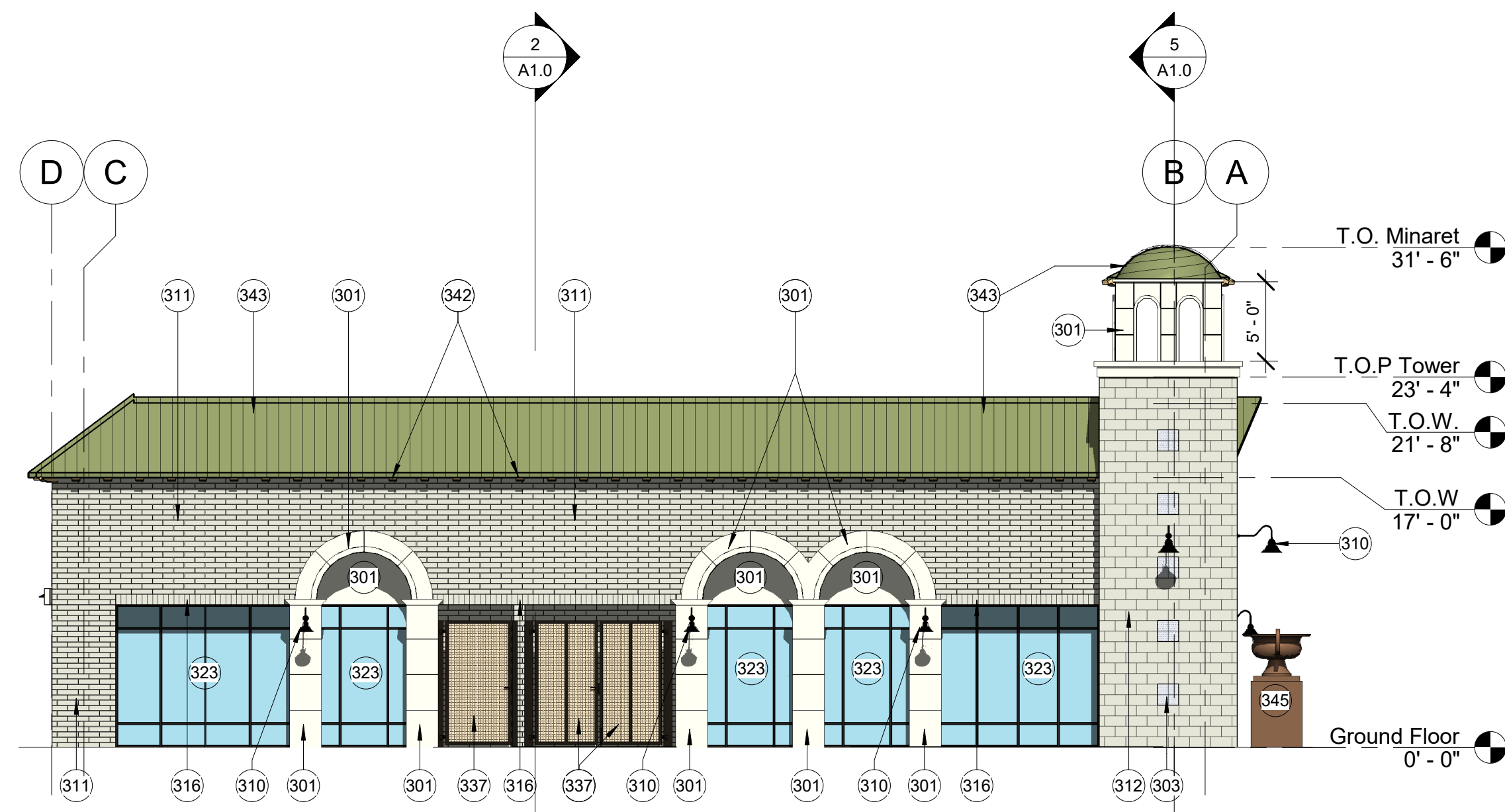


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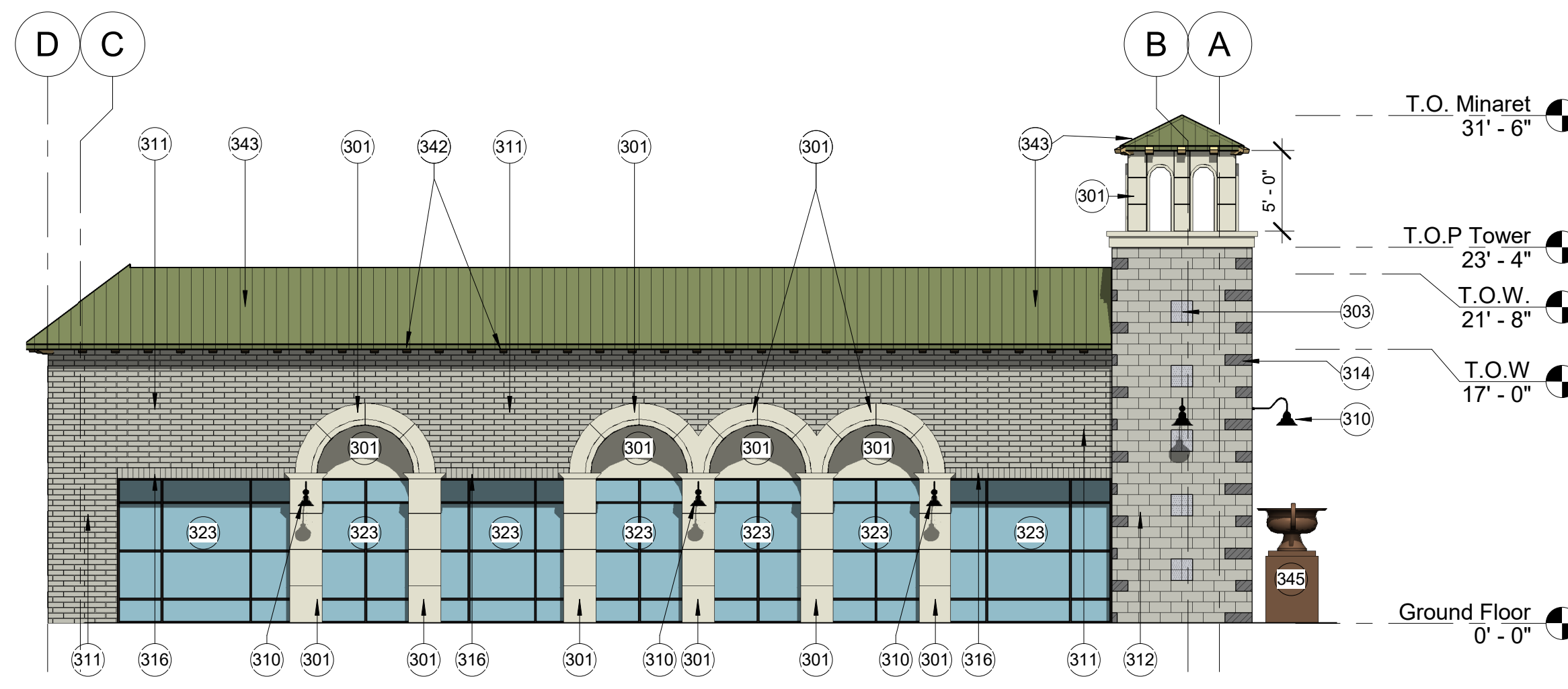
Exterior Elevations

Project Number	Revision	Date	Description	Sheet Number
2009				A3.1
5/26/2020				



1 North Elevation Building A Colored
1/8" = 1'-0"

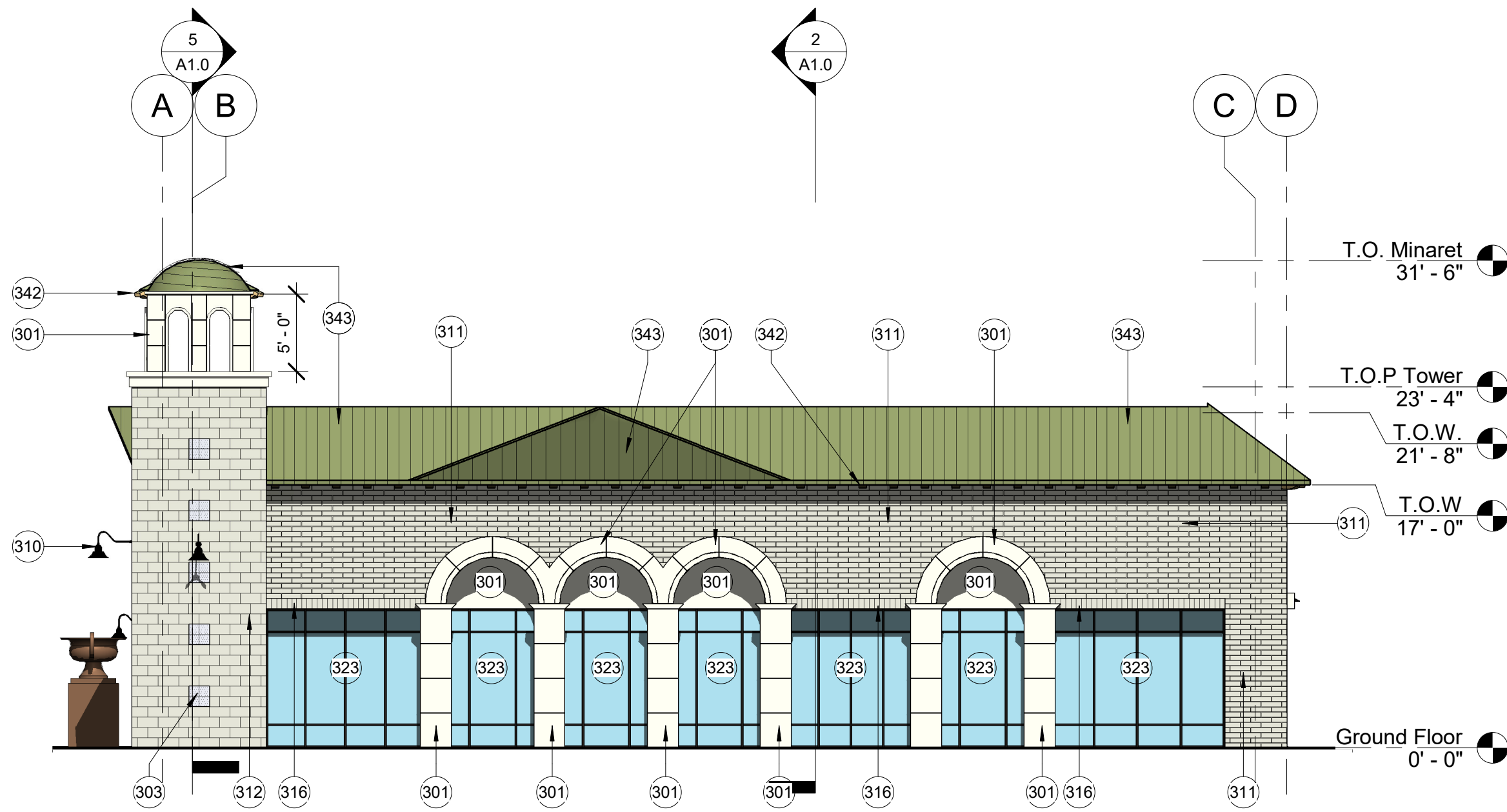
Total S.F. = **1,679 S.F.**
 8" x 4" x 16" CMU Block = **553 S.F. (33%)**
 Glass = **333 S.F. (20%)**
 Precast/EIFS Elements = **180 S.F. (11%)**
 Metal Roof = **311 S.F. (18%)**
 Trendstone Mission White CMU = **10 S.F. (1%)**
 8" x 8" x 16" CMU Block = **192 S.F. (11%)**
 Metal Gate = **100 S.F. (6%)**



3 Interior Courtyard Elevation TYP. Colored
1/8" = 1'-0"

Total S.F. = **1,702 S.F.**
 8" x 4" x 16" CMU Block = **404 S.F. (24%)**
 Glass = **447 S.F. (26%)**
 Precast/EIFS Elements = **314 S.F. (18%)**
 Metal Roof = **335 S.F. (20%)**
 Trendstone Mission White CMU = **10 S.F. (1%)**
 8" x 8" x 16" CMU Block = **174 S.F. (10%)**
 Mesastone Black Canyon CMU = **18 S.F. (1%)**

KEYNOTES	
301	PRECAST CONCRETE OR EIFS. 2" PROJECTION FROM FACE OF WALL. SHERWIN WILLIAMS SW 7005; COLOR: "PURE WHITE"
303	8" X 8" X 8" TRENWYTH MESASTONE, COLOR: "MISSION WHITE"
310	LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
311	8" X 4" X 16" SAND BLASTED CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS
312	8" X 8" X 16" STANDARD CMU WITH RAKED HOR. JOINTS & FLUSH VERT. JOINTS @ TOWERS AND PIERS
314	8" X 8" X 16" MESASTONE CMU; COLOR: "BLACK CANYON"
316	8" X 4" X 8" SOLIDER COURSE SANDBLASTED CMU
323	BLACK ALUMINUM-FRAMED ENTRANCE AND STOREFRONT
337	METAL GATE; MATCH STOREFRONT FINISH
342	EXPOSED LATIA/RAFTERS
343	STANDING SEAM ROOF; ATAS INTERNATIONAL; COLOR: "ANTIQUE PATINA"
345	CAST IRON URN FIXTURE PROVIDED BY OWNER



2 South Elevation Building B Colored
1/8" = 1'-0"

Total S.F. = **1,679 S.F.**
 8" x 4" x 16" CMU Block = **404 S.F. (24%)**
 Glass = **447 S.F. (26%)**
 Precast/EIFS Elements = **314 S.F. (18%)**
 Metal Roof = **311 S.F. (18%)**
 Trendstone Mission White CMU = **10 S.F. (1%)**
 8" x 8" x 16" CMU Block = **192 S.F. (13%)**

EXTERIOR ELEVATION LEGEND

	8 X 8 X 16" STANDARD CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 4 X 16" SANDBLASTED CMU W/RAKED HORIZONTAL JOINTS & FLUSH VERTICAL JOINTS
	8 X 8 X 8" MESASTONE CMU, COLOR: MISSION WHITE
	8 X 8 X 16" MESASTONE CMU, COLOR: BLACK CANYON
	8 X 4 X 16" SOLIDER COURSE SANDBLASTED CMU

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 CERTIFICATE NO.
 26988
 VINCENT P.
 DIBELLA
 DATE ISSUED 05/20/2010
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adaptive
 ARCHITECTS
 1630 S. Stapley Drive
 Suite 219
 Mesa, AZ 85204
 480.655.0633
 www.adaptivearchitectsinc.com

Phase
Design Review

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 5520 East Baseline Rd.
 Mesa, AZ 85206

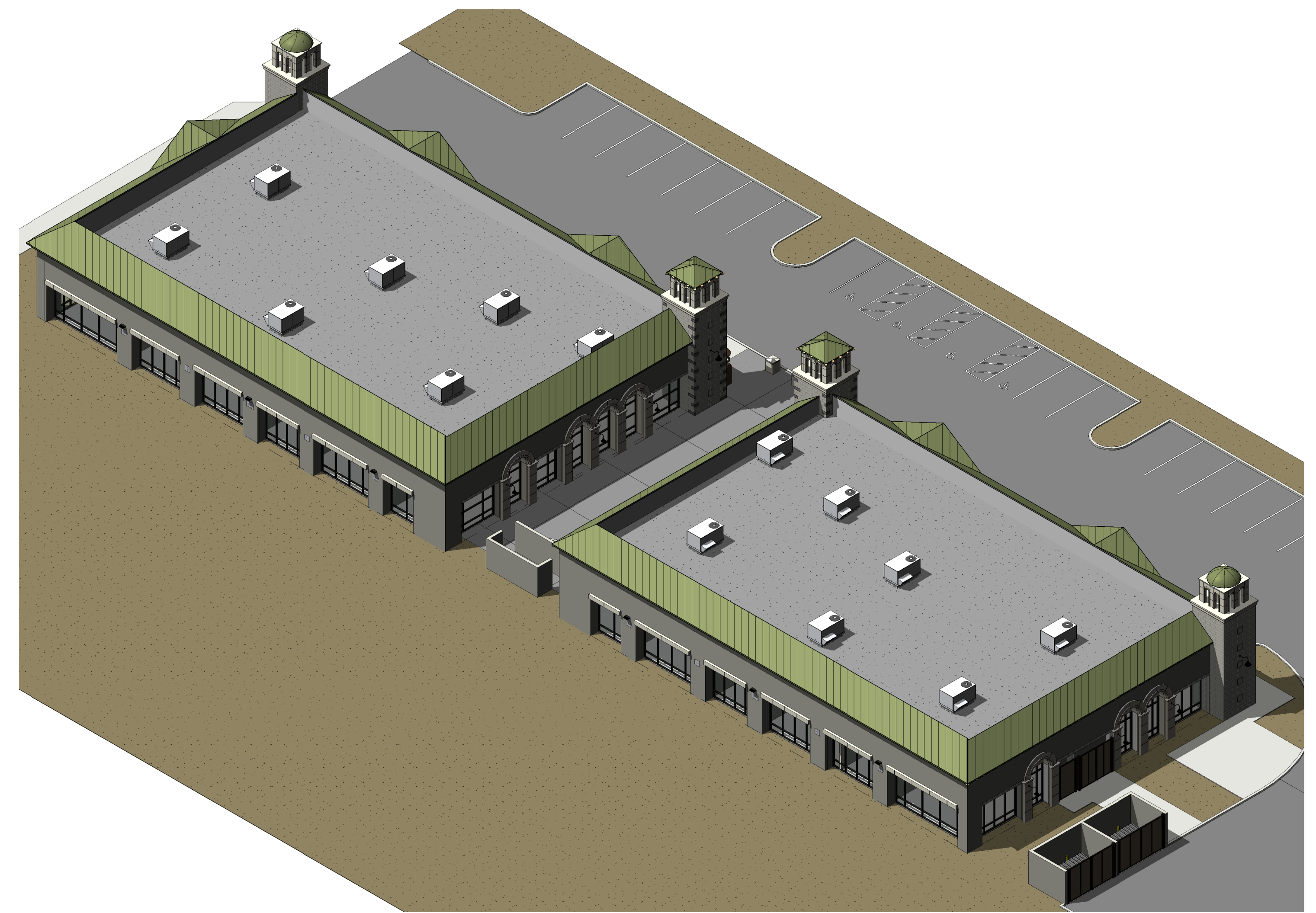
Colored Elevations

Project Number:	Revision:	Date:	Description:	Sheet Number:
2009				
		5/26/2020		

A3.1a



1 Site Axon - Southwest Corner



2 Site Axon - Northeast Corner



3 Southeast Corner



4 Northeast Corner

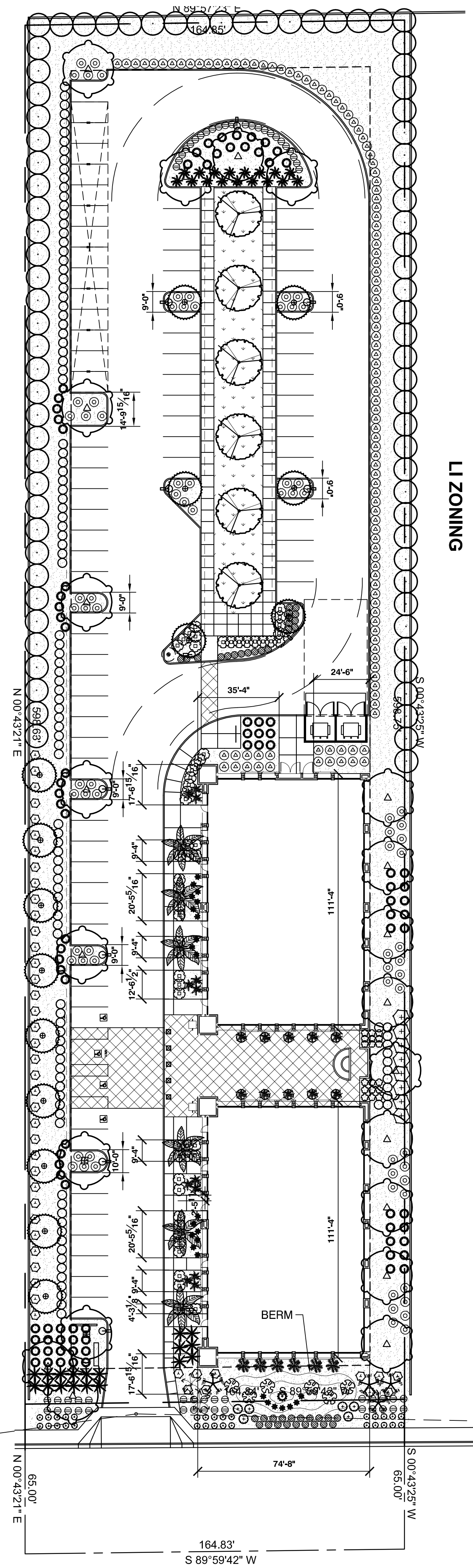


5 Southwest Corner

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<p>Phase: Design Review</p>		
<p>Morris Brothers Offices 5520 East Baseline Rd. Mesa, AZ 85206</p>		
<p>Axonometric</p>		
<p>Project Number: 2009</p>	<p>Revision, Date, Description, Date</p>	<p>Sheet Number: A3.2</p>
<p>Date: 5/26/2020</p>		



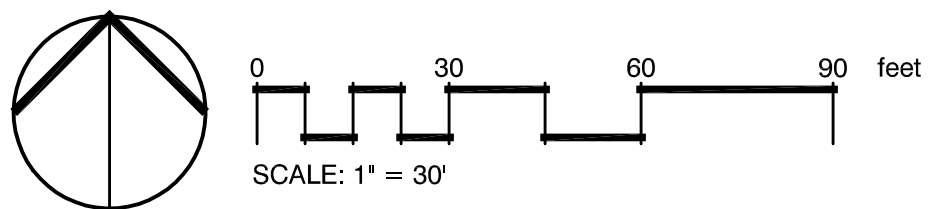
		Phase: Design Review	
Morris Brothers Offices 5520 East Baseline Rd. Mesa, AZ 85206			
Perspective Views			
Project Number: 2009	Revision, Date, Description, Date	Sheet Number: A3.3	
Date: 5/26/2020			



LI ZONING

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Acacia aneura Mulga	24" Box		23
	Citrus x aurantium Sour Orange	24" Box		81
	Fouquieria splendens Ocotillo	15 gal		6
	Olea europaea 'Swan Hill' TM Swan Hill Olive	24" Box	Existing	42
	Pachycereus marginatus Totem Pole Cactus	Salvaged from off-site		1
	Phoenix dactylifera Date Palm	15' Ht.		6
	Pyrus kawakamii Evergreen Pear	24" Box		6
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
	Agave parryi Parry's Agave	5 gal		24
	Calliandra californica Red Baja Fairy Duster	5 gal.		46
	Carissa macrocarpa 'Green Carpet' Green Carpet Natal Plum	1 gal.		50
	Chamaerops humilis Mediterranean Fan Palm	5 gal.		6
	Chrysactinia mexicana Damianita	1 gal		30
	Cycas revoluta Sago Palm	5 gal.		22
	Dasylirion longissimum Toothless Desert Spoon	5 gal		18
	Hesperaloe funifera Mexican False Yucca	5 gal.		17
	Justicia spicigera Mexican Honeysuckle	5 gal		6
	Lantana montevidensis 'New Gold' Trailing Lantana	1 gal		36
	Muhlenbergia capillaris 'Regal Mist' TM Regal Mist Deer Grass	5 gal		89
	Opuntia microdasys Bunny Ears Prickly Pear	5 gal		6
	Pittosporum tobira 'Compactum' Compact Pittosporum	5 gal.		114
	Raphirolepis indica 'Ballerina Pink Dancer' Indian Hawthorne	5 gal		114
	Rosa x 'Iceburg' Iceburg White Rose	5 gal.		18
	Rosmarinus officinalis 'Prostratus' Dwarf Rosemary	1 gal		54
	Ruellia penninsularis Wild Petunia	5 gal		58
	Tecoma stans angustata Yellow Bells	5 gal.		8
GROUND COVERS	BOTANICAL / COMMON NAME	QTY		
	Cynodon dactylon 'Midiron' Bermuda Grass	8,121		



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY
	1/4" Minus Decomposed Granite at 2" Depth, Madison Gold Color	37,855 sf
SYMBOL	CONCRETE CURB DESCRIPTION	QTY
	New Mowstrip	414 lf

LANDSCAPE CALCULATIONS		
Total Open Space Area	36,090 Square Feet	
Plant Material Coverage	35,366 Square Feet (98%)	
	REQUIRED	PROVIDED
Street Frontage Trees	7	7
36" Street Frontage Trees	2	2
24" Street Frontage Trees	4	5
Street Frontage Shrubs	42	127
5 Gal. Street Frontage Shrubs	21	47

adaptive ARCHITECTS
1830 S. Stapley Drive
Suite 229
Mesa AZ 85204
480-655-9633
www.adaptivearchitectsinc.com

Phase
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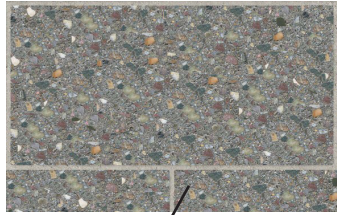
Landscape Plan

Project Number: 2009	Revision Date: ASI 1 6-5-18 REVDAT2 REVDAT3 REVDAT4	Sheet Number:
Date: 03/08/20		

**MORRIS BROTHERS
OFFICE BUILDING
MATERIAL AND
COLOR PALETTE**



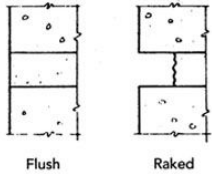
TRENWYTH TRENDSTONE
GROUNDFACE CMU
COLOR: BLACK CANYON



PRECAST ELEMENTS/EIFS
SHERWIN WILLIAMS
SW 7005
COLOR: PURE WHITE



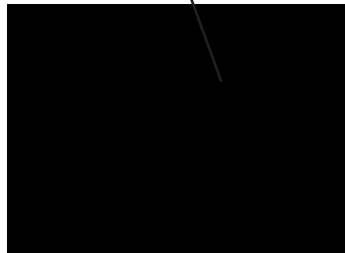
ATAS INTERNATIONAL
STANDING SEAM ROOF
COLOR: ANTIQUE PATINA



JOINT TYPES



SANDBLASTED CMU (8 X 4 X 16)
RAKED HORIZONTAL JOINTS &
FLUSH VERTICAL JOINTS



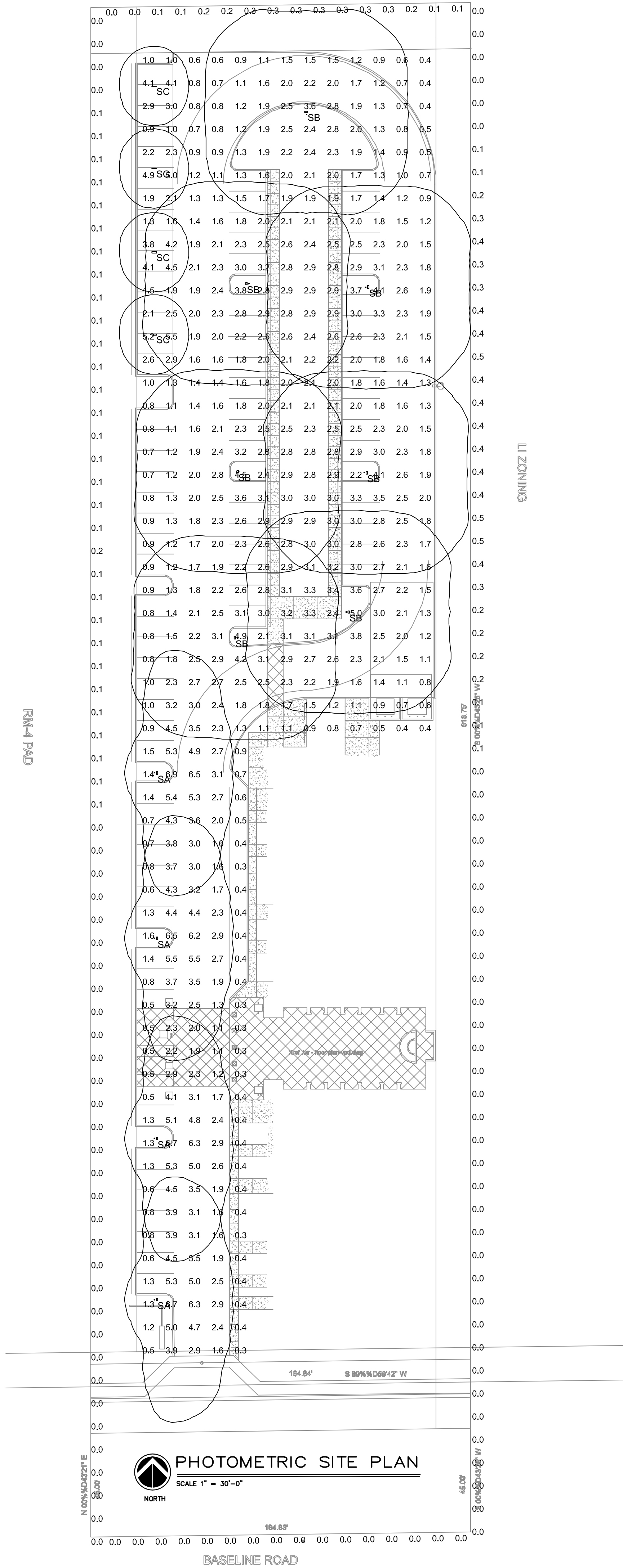
STOREFRONT FINISH
BLACK ANODIZED
ALUMINUM



STANDARD CMU (8 X 8 X 16)
RAKED HORIZONTAL JOINTS
& FLUSH VERTICAL JOINTS



TRENWYTH MESASTONE
(8 X 8 X 8)
TEXTURED CMU
COLOR: MISSION WHITIE



Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	SA	4	Lithonia Lighting	DSX0 LED P5 40K T5W MVOLT HS / SSS 12.5' POLE WITH 2.5' BASE	DSX0 LED P5 40K T5W MVOLT with housingside shield	LED	1	DSX0_LED_P5_40K_T5W_MVOLT_HS_ie.s	9550	1	89
□	SB	7	Lithonia Lighting	DSX0 LED P5 40K T5W MVOLT / SSS 12.5' POLE WITH 2.5' BASE	DSX0 LED P5 40K T5W MVOLT	LED	1	DSX0_LED_P5_40K_T5W_MVOLT_ie.s	12047	1	89
□	SC	4	Lithonia Lighting	DMW2 2000LM WD AFL MVOLT 40K 80CRI	DMW2 L24 2000LM WD AFL MVOLT G21 40K 80CRI (GLEDS)	LED	1	DMW2_2000LM_WD_AFL_MVOLT_40K_80CRI_ie.s	2202	1	18.78
□	SD	0	Lithonia Lighting	DSXW1 LED 20C 1000 40K T3S MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3S OPTIC, 4000K, @ 1000mA.	LED	1	DSXW1_LED_20C_1000_40K_T3S_MVOLT_ie.s	7650	1	73.2

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
FC ON SITE AT GRADE	+	2.2 fc	6.9 fc	0.3 fc	23.0:1	7.3:1
PROP LINE AT 3'	+	0.1 fc	0.5 fc	0.0 fc	N/A	N/A

Expires 6/30/2021

adaptive ARCHITECTS
1630 S. Stapley Drive
Suite 229
Mesa, AZ 85204
480.655.0633
www.adaptivearchitectsinc.com

Phase: **Design Review**

Morris Brothers Offices
5520 East Baseline Road
Mesa, AZ

SITE PLAN PHOTOMETRICS

Project Number: 2009	Revision Date:	Sheet Number: E1.1
Date: 03/08/20		

PROFESSIONAL CONSULTING ENGINEERS, INC.
22601 N. 17th Avenue, Ste 230, Phoenix, AZ 85027
Phone (602) 674-9414
Email pce@pcephx.com PCE Job # 20010